



North Carolina Department of Natural and Cultural Resources
State Historic Preservation Office

Ramona M. Bartos, Administrator

Governor Roy Cooper
Secretary Susi H. Hamilton

Office of Archives and History
Deputy Secretary Kevin Cherry

March 19, 2018

MEMORANDUM

TO: Vanessa Patrick
Human Environment Unit
NC Department of Transportation

FROM: Renee Gledhill-Earley 
Environmental Review Coordinator

SUBJECT: Historic Structures Survey Report, Upgrade of Existing NC 127 from SR 1400
to SR 1156, R-3603A, PA 16-10-0022, Alexander and Catawba Counties, ER 18-0268

Thank you for your February 6, 2018, memorandum, transmitting the above-referenced report. We have reviewed the report and offer the following comments.

We concur that the House at 93 Telephone Exchange Road (AX0069) is eligible for listing in the National Register of Historic Places under Criterion C as an excellent and intact example of the Contemporary style of architecture in Alexander County. The most appropriate boundary for the eligible resource is the tax parcel on which the dwelling is located.

We also concur that the following properties are not eligible for listing in the National Register under any Criteria for the reasons outlined in the report.

- House, 7031 N.C. Highway 127 (AX0065)
- House and Outbuildings, 225 Richey Road (AX0066)
- House, 7625 N.C. Highway 127 (AX0067)
- Mount Bethel United Methodist Church (AX0070)
- Shiloh Lutheran Church (AX0071)
- The Horsebarn LLC (CT1575), which is a complex that includes a c.1950 horse barn with large c.1970 addition, a c.1950 gambrel roof "office," two c. 1945 tile or clay brick silos, and a c.1945 barn.

We do not agree that the house at 8290 NC Highway 127 (AX0068) is not National Register-eligible. The "historic context" is insufficient to fully understand the property's history and how it relates to comparable resources in rural Alexander County. More information is necessary on the history of this specific property as well as the historic context of rural small-scale agricultural complexes of the mid-twentieth century for evaluation under Criterion A. The evaluation under Criterion C is limited solely to the dwelling and does not account for the potential significance of the apparently intact agricultural complex, which appears to retain a high degree of integrity. The two comparable resources used in the evaluation are both located in Hickory and are not appropriate for the evaluation of this resource. More information with a more thorough evaluation is warranted.

The above comments are made pursuant to Section 106 of the National Historic Preservation Act and the Advisory Council on Historic Preservation's Regulations for Compliance with Section 106 codified at 36 CFR Part 800.

Thank you for your cooperation and consideration. If you have questions concerning the above comment, contact Renee Gledhill-Earley, environmental review coordinator, at 919-807-6579 or environmental.review@ncdcr.gov. In all future communication concerning this project, please cite the above referenced tracking number.

cc: Mary Pope Furr, NCDOT, mfurr@ncdot.gov

Received: 02/09/2018
State Historic Preservation Office



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

JAMES H. TROGDON, III
SECRETARY

ROY COOPER
GOVERNOR

ER 18-0268

To: Renee Gledhill-Earley, NCHPO

From: Vanessa E. Patrick, NCDOT

Due -- 3/5/18

Date: February 6, 2018

H-

Subject: *Historic Structures Survey Report for R-3603A, Upgrade Existing NC 127 from SR 1400 (Cloninger Mill Road) to SR 1156 (Richey Road) to Multi-lanes with Curb-and-gutter, Alexander and Catawba Counties, North Carolina. WBS No. 38870.1.2. PA Tracking No. 16-10-0022.*

ALM due 3/1
er letters
3/2/18 RYE
→ TO JES
rev'd 3/19

The North Carolina Department of Transportation (NCDOT) is conducting planning studies for the above-referenced project. Enclosed for your review is a report presenting the evaluation of historic architectural resources in the R-3603A, Alexander and Catawba Counties project area (one hard copy and one CD-ROM). Survey photographs, GIS data, and site forms are provided on the CD-ROM, and hard copies of the site forms with photographs are also supplied.

The report considers eight resources: five houses, two churches, and an agricultural complex. The study recommends all but one as not eligible for listing in the National Register of Historic Places. The House at 93 Telephone Exchange Road (AX0069) is recommended as eligible under Criterion C. Initial screening of the R-3603A project area by NCDOT Historic Architecture identified which resources warranted additional study.

We look forward to receiving your comments on the report. Should you have any questions, please do not hesitate to contact me at vepatrick@ncdot.gov or 919-707-6082. Thank you.

V.E.P.

Attachments

Mailing Address:
NC DEPARTMENT OF TRANSPORTATION
HUMAN ENVIRONMENT SECTION
MSC 1598
RALEIGH, NC 27699-1598

Telephone: (919)-707-6000
Fax: (919)-212-5785
Customer Service: 1-877-368-4968

Website: www.ncdot.gov

Location:
1020 BIRCH RIDGE DRIVE
RALEIGH, NC 27610

HISTORIC STRUCTURES SURVEY REPORT

**UPGRADE EXISTING NC 127 FROM
SR 1400 (CLONINGER MILE ROAD) TO
SR 1156 (RICHEY ROAD) TO
MULTI-LANES WITH CURB AND GUTTER,
ALEXANDER AND CATAWBA COUNTIES,
NORTH CAROLINA**

STATE PROJECT NUMBER: WBS# 38870.1.2

TIP Number: R-3603A

by

**Sean P. Maroney, Catherine Schlupp,
and Caitlin Sylvester**

Prepared for

NCDOT Environmental Analysis Unit

Prepared by

DOVETAIL
Cultural Resource Group

January 2018

Historic Structures Survey Report

**Upgrade Existing NC 127 from SR 1400 (Cloninger Mill Road) to
SR 1146 (Richey Road) to Multi-lanes with Curb and Gutter,
Alexander and Catawba Counties, North Carolina**

**State Project Number: WBS# 38870.1.2
TIP Number: R-3603A**

Prepared for

**North Carolina Department of Transportation
Environmental Analysis Unit
1598 Mail Service Center
Raleigh, North Carolina 27699-1598**

Prepared by

Sean P. Maroney, Catherine Schlupp,
and Caitlin Sylvester

**Dovetail Cultural Resource Group
300 Central Road, Suite 200
Fredericksburg, Virginia 22401
(540) 899-9170**

Dovetail Job #17-018
January 2018



Principal Investigator
Dovetail Cultural Resource Group

January 25, 2018

Date

Supervisor, Historic Architecture Group
North Carolina Department of Transportation

Date

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MANAGEMENT SUMMARY

Dovetail Cultural Resource Group (Dovetail) conducted historic architectural eligibility evaluations on behalf of the North Carolina Department of Transportation (NCDOT) in preparation for a project to upgrade N.C. Highway 127 to a multi-lane road with curb and gutter spanning from SR 1400 (Cloninger Mill Road) in Catawba County to SR 1156 (Richey Road) in Alexander County, North Carolina. The NCDOT state project number is WBS# 38870.1.2 and the Transportation Improvement Project (TIP) number is R-3603A. The R-3603A project is subject to review under the Programmatic Agreement for Minor Transportation Projects (NCDOT/ North Carolina State Historic Preservation Office [NC-HPO]/Federal Highway Administration 2007).

The scope of the current investigation included eligibility evaluations of eight properties (Table 1, p. ii) identified by NCDOT within the project's Area of Potential Effects (APE)—which extends approximately 900 feet from either end of the proposed 3.70-mile-long project area, 1,000 feet along Y-lines, and 300 feet to either side of all center lines. All of the eight properties selected for the historic eligibility evaluation are newly recorded with the NC-HPO as part of this project.

The goals of this investigation were to: first, document the architectural and landscape features of the properties; second, gather archival data on the properties; and third, examine the physical and historical information collected within the appropriate context(s) to properly evaluate each property under established criteria for the National Register of Historic Places (NRHP). The fourth goal of this investigation was to propose NRHP boundaries for any property should it be recommended eligible for listing. Work on this project was conducted in April 2017, in accordance with relevant state and federal regulations as part of the compliance process established in Section 106 of the National Historic Preservation Act of 1966, as amended (36 CFR 800).

As a result of this investigation, one resource is recommended as eligible for the NRHP, a one-story, Contemporary-style dwelling constructed in 1966. The house at 93 Telephone Exchange Road (AX0069) **is recommended eligible for the NRHP under Criterion C for its association with the post-World War II housing boom in Alexander County and as a unique example of the Contemporary style's application in a rural setting.**

The remaining seven resources are **recommended not eligible for the NRHP (AX0065, AX0066, AX0067, AX0068, AX0070, AX0071, and CT1575).**

Table 1: Eligibility Recommendations. *Note:* This table is organized in a north-to-south order to match the order of the report.

Property Name and Address	NC-HPO Survey Site Number	Eligibility Determination	Criteria
House, 7031 N.C. Highway 127	AX0065	Recommended Not Eligible	N/A
House, 225 Richey Road	AX0066	Recommended Not Eligible	N/A
House, 7625 N.C. Highway 127	AX0067	Recommended Not Eligible	N/A
House, 8290 N.C. Highway 127	AX0068	Recommended Not Eligible	N/A
House, 93 Telephone Exchange Road	AX0069	Recommended Eligible	C
Mount Bethel United Methodist Church, 9042 N.C. Highway 127	AX0070	Recommended Not Eligible	N/A
Shiloh Lutheran Church, 1011 Shiloh Church Road	AX0071	Recommended Not Eligible	N/A
The Horsebarn LLC, 4405 N. Center Street	CT1575	Recommended Not Eligible	N/A

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INTRODUCTION

Dovetail conducted historic architectural eligibility evaluations on behalf of the NCDOT in preparation for a project to upgrade N.C. Highway 127 to a multi-lane road with curb and gutter spanning from SR 1400 (Cloninger Mill Road) in Catawba County to SR 1156 (Richey Road) in Alexander County, North Carolina (Figure 1 and Figure 2). The project (WBS# 38870.1.2 and TIP# R-3603A) is state funded and will require a federal permit. It is subject to review under the Programmatic Agreement for Minor Transportation Projects.¹



Figure 1: Map of Alexander County within State of North Carolina.²



Figure 2: Map of Catawba County within State of North Carolina.³

¹ North Carolina Department of Transportation/North Carolina Historic Preservation Office/Federal Highway Administration (NCDOT/NC-HPO/FHA) 2007.

² NCPedia 2015a.

³ NCPedia 2015b.

Documentation and research for this project was conducted in accordance with relevant state and federal guidelines as part of the compliance process established in Section 106 of the National Historic Preservation Act of 1966, as amended (36 CFR 800). NCDOT architectural historians identified the current project APE and determined that eight resources required additional evaluation: AX0065, AX0066, AX0067, AX0068, AX0069, AX0070, AX0071, and CT1575. Dovetail Architectural Historians Sean P. Maroney and Catherine Schlupp performed the work for this project with Dr. Kerri Barile serving as Project Manager. Both Dr. Barile and Mr. Maroney meet or exceed the standards established for Architectural Historian and Historian by the Secretary of the Interior (SOI).

Following a review of NC-HPO records, Dovetail conducted fieldwork and archival research between April 11 and April 21, 2017. Archives were consulted at the NC-HPO Survey and Planning Archives in Raleigh, North Carolina, Alexander County Register of Deeds in Taylorsville, North Carolina, Catawba County Register of Deeds in Newton, North Carolina, the Local History Room in the Alexander County Public Library, in Taylorsville, North Carolina, the Evelyn D. Rhodes Room in the Catawba Public Library in Newton, North Carolina, the Patrick Beaver Memorial Library in Hickory, North Carolina, and the North Carolina Department of Cultural Resources (NC-DCR) Government and Heritage Library, Genealogical Collection in Raleigh, North Carolina. Oral history was contributed by local Alexander and Catawba County residents, including Jerry McCaleb and Alex Floyd.

This report includes an eligibility evaluation of eight newly recorded resources recommended for study by the NCDOT within the project APE (Figure 3–Figure 5, pp. 3–5): AX0065, AX0066, AX0067, AX0068, AX0069, AX0070, AX0071, and CT1575. This report meets the standards set forth by the NC-HPO’s Architectural Survey Manual, *Practical Advice for Recording Historic Resources*, as well as those outlined by NCDOT in *Sections 106 Procedures and Report Guidelines*.

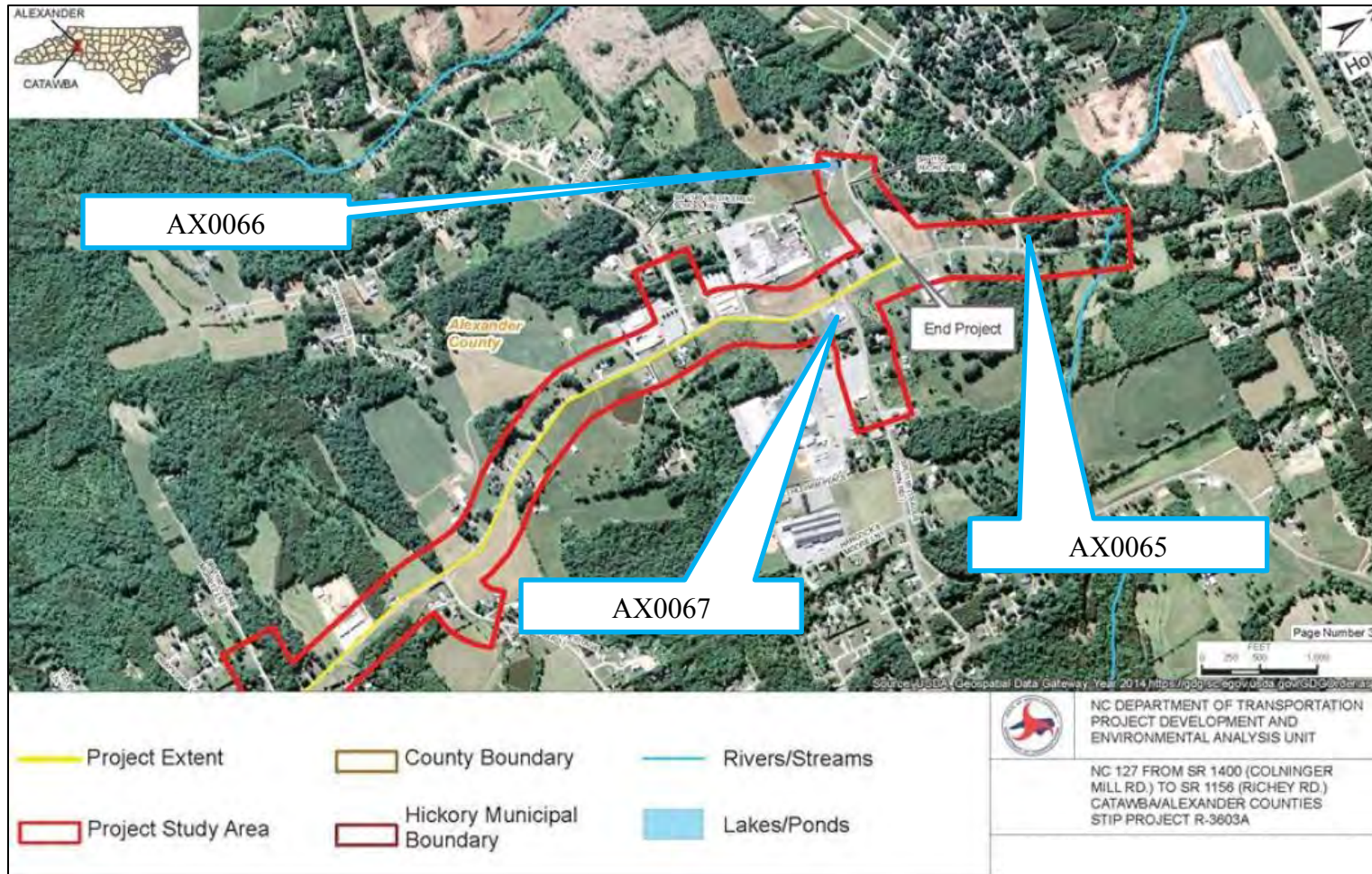


Figure 3: Aerial Map from NCDOT Showing the Project APE Along N.C. Highway 127, Northern Segment.⁴

⁴ NCDOT 2017.

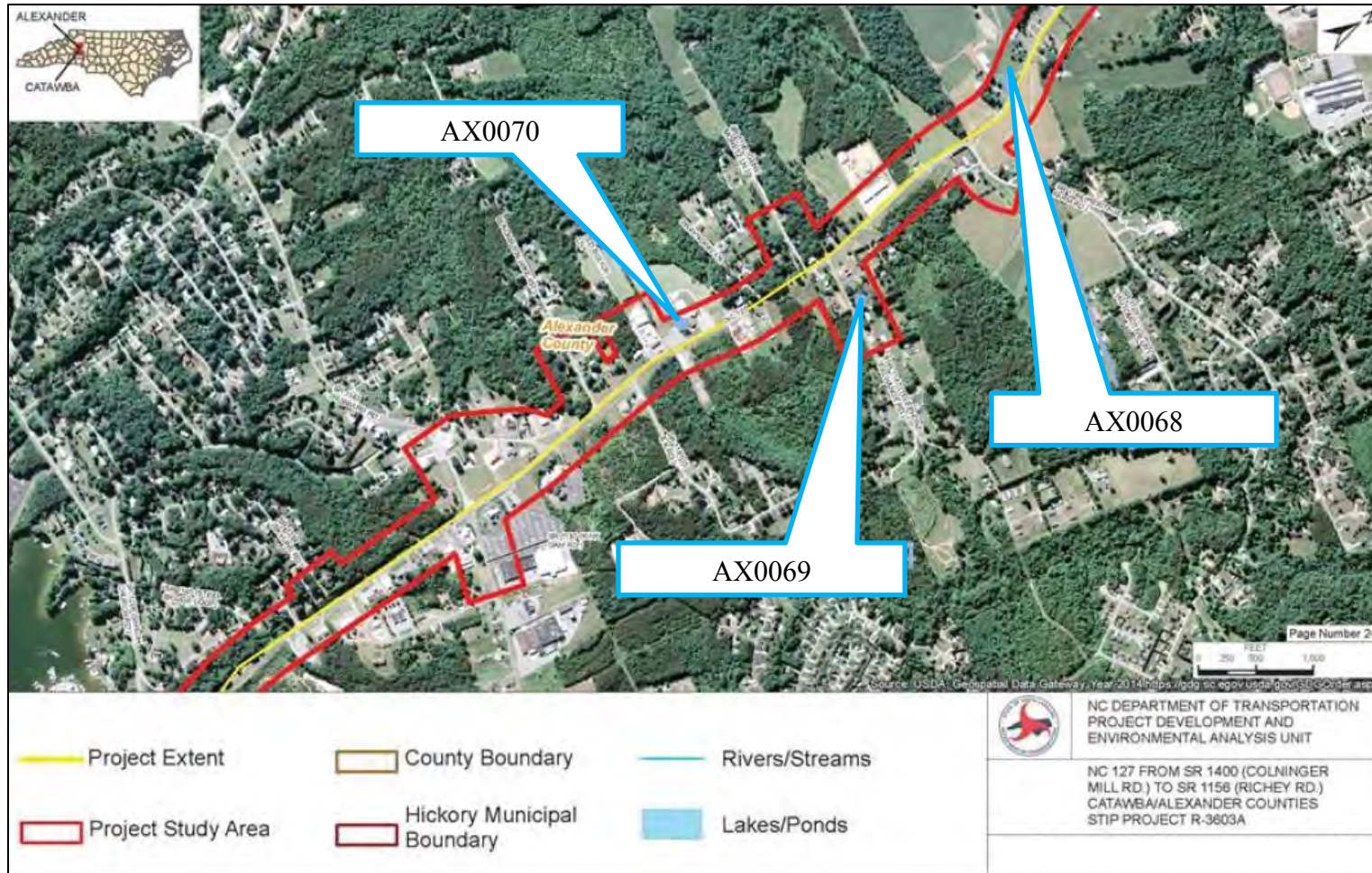


Figure 4: Aerial Map from NCDOT Showing the Project APE Along N.C. Highway 127, Center Section.⁵

⁵ NCDOT 2017.

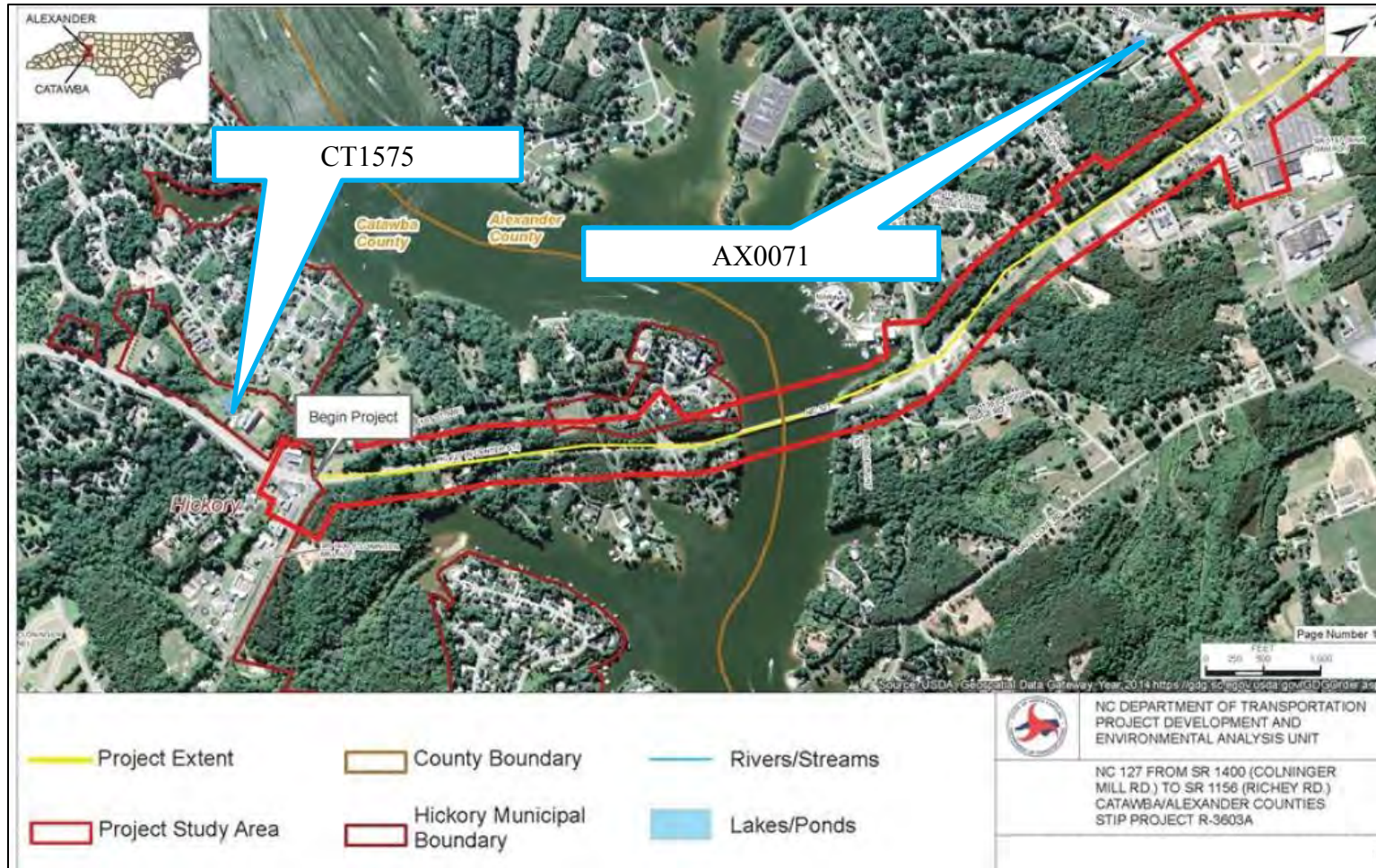


Figure 5: Aerial Map from NCDOT Showing the Project APE Along N.C. Highway 127, Southern End.⁶

⁶ NCDOT 2017.

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ELIGIBILITY EVALUATION

AX0065: House at 7031 N.C. Highway 127

Date of Construction: Circa 1885
Modifications: Circa 1980

7031 N.C. Highway 127
Alexander County, North Carolina
PIN: 3715-61-3292
Eligibility Recommendation: Not Eligible



Architectural Description

The House at 7031 N.C. Highway 127 is located on the east side of N.C. Highway 127 in a sparsely-populated, rural area of Alexander County, North Carolina. Built on a wedge-shaped lot measuring approximately 10.75 acres, the resource is immediately surrounded by manicured grass, mature tree growth, and grassy fields (Figure 6, p. 8 and Figure 7, p. 9). The primary resource is set approximately 150 feet from the road and connects to the road via a curving, poured-concrete driveway. Driveway access is restricted by a metal gate and barbed-wire fence. Numerous outbuildings dot the property and include two outbuildings from the early-twentieth century; four outbuildings, a barn, and a shed dating to the mid-twentieth century; an outbuilding from the late-twentieth century; and a shed from the early-twenty-first century. A small creek runs from northwest to southeast across the center of the property with the primary resource and all outbuildings concentrated to the south. Property access was not permitted and all documentation was accomplished from the public right-of-way. Due to this, some of the resources were only visible through the use of modern satellite imagery.

The resource is a two-story, three-bay, single-family dwelling built around 1884 (Photo 1, p. 10). The resource does not have a discernable style, but instead is built in a common, two-story, central-passage, double-pile form. Constructed on a continuous, concrete-block foundation, the house's structural system is likely frame and clad in aluminum siding. A side-gabled roof with overhanging eaves sheathed in v-crimp metal, tops the dwelling. Two exterior-end, uncoursed, stone chimneys flank the resource to the north and south. The northern chimney features what appears to be the original cut stone up to the second floor hearth and parged brick at the top of the stack where it is covered by a metal cap.



Figure 6: Location and Parcel Boundaries of the House at 7031 N.C. Highway 127 (AX0065).⁷

⁷ Esri 2017

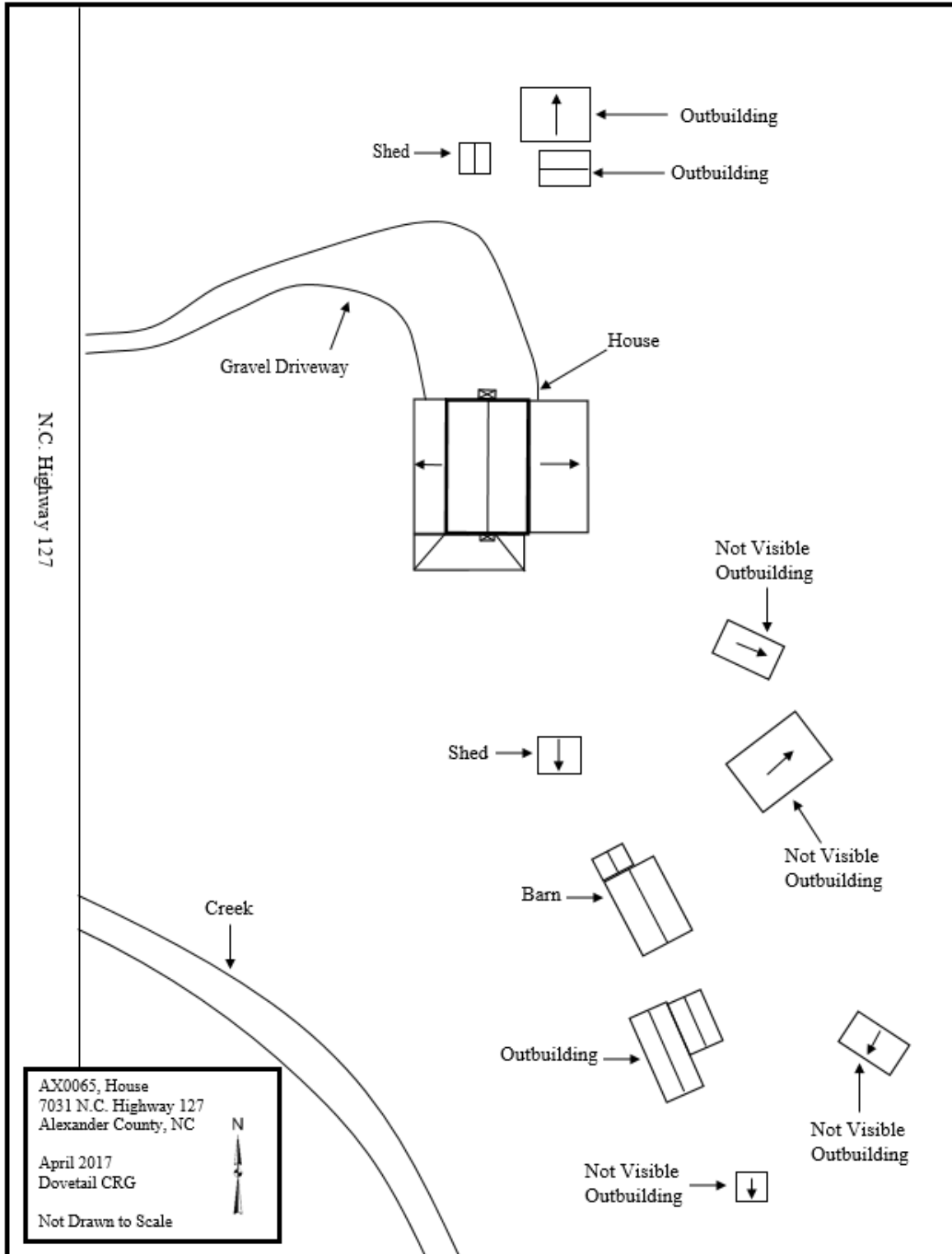


Figure 7: Site Plan for House at 7031 N.C. Highway 127 (AX0065).



Photo 1: House at 7031 N.C. Highway 127, West Elevation.

The primary entrance is centered on the west elevation and is filled with a single-leaf, flush, wooden door with three horizontal, rectangular lights. The door's design is typical of mid-twentieth-century Ranch and Contemporary styles and was likely replaced sometime between 1950 and 1970.⁸ A one-story, full-width porch spans the west elevation. Built atop a continuous concrete-block foundation, the porch features a wood-plank deck and metal railings. The shed roof sheathed in asphalt shingles is supported by square-wood posts. A set of concrete-block steps are centered on the west elevation with a matching set of steps at the north end of the porch. The porch's foundation is raised and may shelter a cellar as a set of poured-concrete stairs descends about 5 feet down at the southern end of the west elevation, leading to a single-leaf vinyl door. Two two-light, fixed, metal windows also sit on the northern end of the foundation's west elevation. Additional fenestration on the primary (west) elevation includes metal picture windows at the first story as well as two- and three-light, replacement, metal-framed awning windows at the second story. Two and three light, metal awning windows are present on the secondary elevations as well. Fixed, louvered, aluminum shutters flank the windows on the north and west elevations.

A circa-1980, one-story, open-bay carport addition spans the east or rear elevation of the resource (Photo 2, p. 11). A concrete-block retaining wall forms the east wall of this addition. It is covered by a shed roof sheathed in metal with exposed rafter tails that is supported by metal poles at the north end. Four two-light, fixed, metal windows are visible on the addition's east elevation.

⁸ McAlester 2013:597.



Photo 2: House at 7031 N.C. Highway 127, View of East Addition Looking Southeast.

A one-story, one-bay addition extends from the south elevation of the resource (Photo 3). Built atop a continuous concrete-block foundation, the addition's frame structural system is partially covered by weatherboard. Given the addition's appearance compared to the rest of the dwelling, it is possible that its exterior cladding was being replaced at the time of survey. It is topped by a hipped roof sheathed in asphalt shingles.



Photo 3: House at 7031 N.C. Highway 127, Addition Detail, Southwest Oblique.

In addition to the dwelling, there are 10 secondary resources within this property's parcel boundaries. Because Dovetail could not gain access to the property, four of the 10 were not observed during the current survey, but were seen in aerial images and are noted on the site plan.⁹ These four outbuildings are all located to the east of the house and other resources. According to historic aerials and topographic maps, these buildings all date to the mid-twentieth century.

Although completed from the public right of way, Dovetail was able to see, photograph, and take survey notes on the remaining six secondary resources. Located north of the primary resource is a one-story, one-bay, circa-2015 shed (Photo 4). Covered in T1-11 siding, the shed is topped by a front-gabled roof and accessed by a single, open bay on the south elevation.

A one-story, two-bay, circa-1960 outbuilding sits north of the primary resource (Photo 4). Built on a pier-type foundation, the weatherboard-clad outbuilding is covered by a shed roof that slopes to the north. A single-leaf, flush, wood door opens on the southern end of the west elevation while a one-over-one, double-hung-sash, wood windows occupies the northern bay. A single-leaf replacement door opens on the south elevation but is partially obscured by a circa-1970 outbuilding. The remaining secondary resource situated north of the dwelling is a one-story, one-bay outbuilding constructed around 1970 that almost abuts the circa-1960 outbuilding's south elevation (Photo 4). Built atop a continuous concrete-block foundation, the outbuilding is covered in weatherboard. The front-gabled roof, sheathed in v-crimp metal, tops the building. A single-leaf wooden door opens on the west elevation.



Photo 4: Circa-2015 Shed (Front), Circa-1960 Outbuilding (Rear Left), and Circa-1970 Outbuilding (Rear Right), Looking North.

⁹ Google Earth 2016.

A one-story, one-bay, circa-1960 shed sits to the south of the primary resource (Photo 5). The concrete-block building is covered by a standing-seam-metal-clad, shed roof that slopes to the south. A single-leaf, six-panel replacement door opens on the northern end of the building's west elevation.



Photo 5: Circa-1960 Shed, Northwest Oblique.

Although not clearly observed during survey due to tree growth there are two additional resources located south of the dwelling. The southernmost building is a one-story, wood-framed outbuilding constructed around 1940 clad in weatherboard and covered by a front-gabled roof sheathed in metal. A one-story, two-bay addition extends from the outbuilding's southeast elevation and is covered by a front-gabled roof with exposed rafter tails. The northernmost of these two outbuildings is a one-story, wood-framed, circa-1945 barn built on a pier-type foundation and clad in weatherboard siding (Photo 6). A front-gabled roof, sheathed in v-crimp metal, tops the building. A one-story gabled addition extends from the barn's northeast elevation and is constructed from the same materials as the main barn.



Photo 6: The Circa-1945 Barn (Left) and Circa-1940 Outbuilding (Right), Looking East.

Historic Context

The property located at 7031 N.C. Highway 127 is presently 10.74 acres in size, but was, at one time, part of larger, 94-acre tract acquired by J. W. Price via several separate transactions made between 1882 and 1888.¹⁰

J. W. Price apparently accumulated a substantial amount of debt soon after purchasing the land. In an 1890 lawsuit brought against him, the courts ruled that a 94-acre portion of his landholdings be seized and sold at public auction. As described in the deed, the tract in question was bordered by Jumping Creek and lands belonging to Levi Price, the father of the property's next owner, U. L. [Uriah Lonzo] Price.¹¹

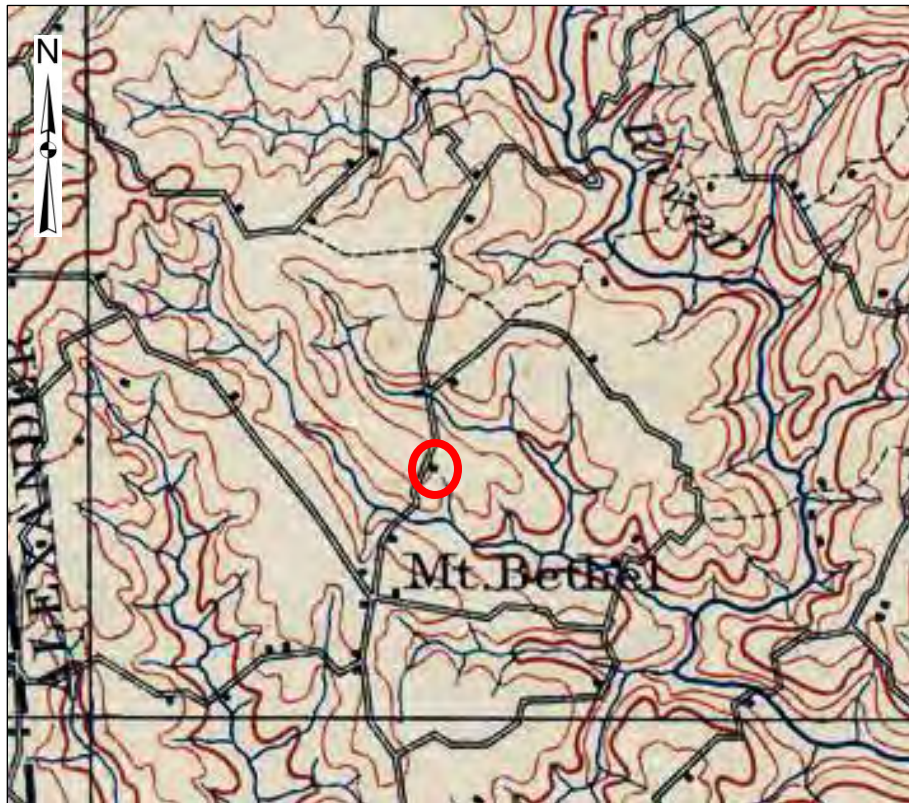


Figure 8: Possible Location of the Dwelling at 7031 N.C. 127 Highway (Circled in Red)) as Shown on an 1895 Map of Alexander County (USGS 1895). Map not to scale.

Alexander County tax records indicate a construction date of 1884 for the present-day dwelling at 7031 N.C. 127 Highway, though it is unclear from the historical record exactly when it was built. It appears to exist by at least 1895 as a topographic map published that year shows a structure in close proximity to the current home's location (Figure 9, p. 16). It is

¹⁰ Alexander County Deed Book [ACDB] F:186, N:545, I:394.

¹¹ ACDB J:183.

possible J. W. Price constructed the dwelling after his initial land purchase in 1882.¹² It is also possible that U. L. Price did so after acquiring the tract in 1890. The 1890 deed was not specific on this point.

There is not a great deal of information in the historical record regarding U. L. Price or the Price farm. The 1910 U.S. Federal Census lists the 39-year-old Price as a resident of the Ellendale area of Alexander County, living with his wife, Texie M. Price and five children. His occupation at the time was noted as “Farmer.” According to the 1920 U.S. Census however, Price was residing with his wife and eight children near Lovelady, in Caldwell County, and was reportedly working as a laborer in a cotton mill.

Uriah Price passed away in 1953 at the age of 82 and several years later, his heirs began selling portions of the family’s estate.¹³ As shown on a plat map (Figure 9, p. 16) recorded in February 1961, the tract, which totaled nearly 39.0 acres, was subdivided into 11 lots.¹⁴ The present-day boundaries of the 7031 N.C. 127 Highway property encompass most of the three adjoining lots designated as 6, 7 and 8. Clyde F. Price and his wife, Katherine Winfred Price, acquired lots 6 (7.11 acres) and 7 (3.63 acres) in 1961 and lot 8 (2.73 acres), containing the circa-1885 dwelling, the following year.¹⁵

In 2014, following the death of his wife, Clyde sold the property to James Doyle Price in two separate transactions. The latter proved a short-term owner, for two years later, he sold it to the current owner, Stephen Tyler Brown, thus marking the end of the Price family’s tenure.¹⁶

Evaluation

Access to the property was not possible during the most recent field visit. Consequently, a visual inspection was conducted from the highway, making it difficult to make a more thorough evaluation of this resource’s condition and level of integrity.

The primary resource—a two-story, three-bay, frame dwelling with side-gable roof—was a common house form in the rural areas of Alexander County in the latter decades of the nineteenth century. While the overall shape and massing of these homes was generally similar, variations in their visual appearance and stylistic expressions were achieved by altering front porch profiles, for instance, or through different applications of decorative, wood trim details (e.g., turned columns, brackets, etc.), which were mass-produced and increasingly more available during the last quarter of the nineteenth century.¹⁷ The three dwellings pictured below are an illustration of these trends (Mason 1987:13) (Photo 7–Photo 9, pp. 17–18).

¹² ACDB F:186.

¹³ Find A Grave 2017a.

¹⁴ ACPB 2:70.

¹⁵ ACDB 66:563, 68:221.

¹⁶ ACDB 575:60, 577:2399, 589:2385.

¹⁷ Acme Preservation Services 2015:43.

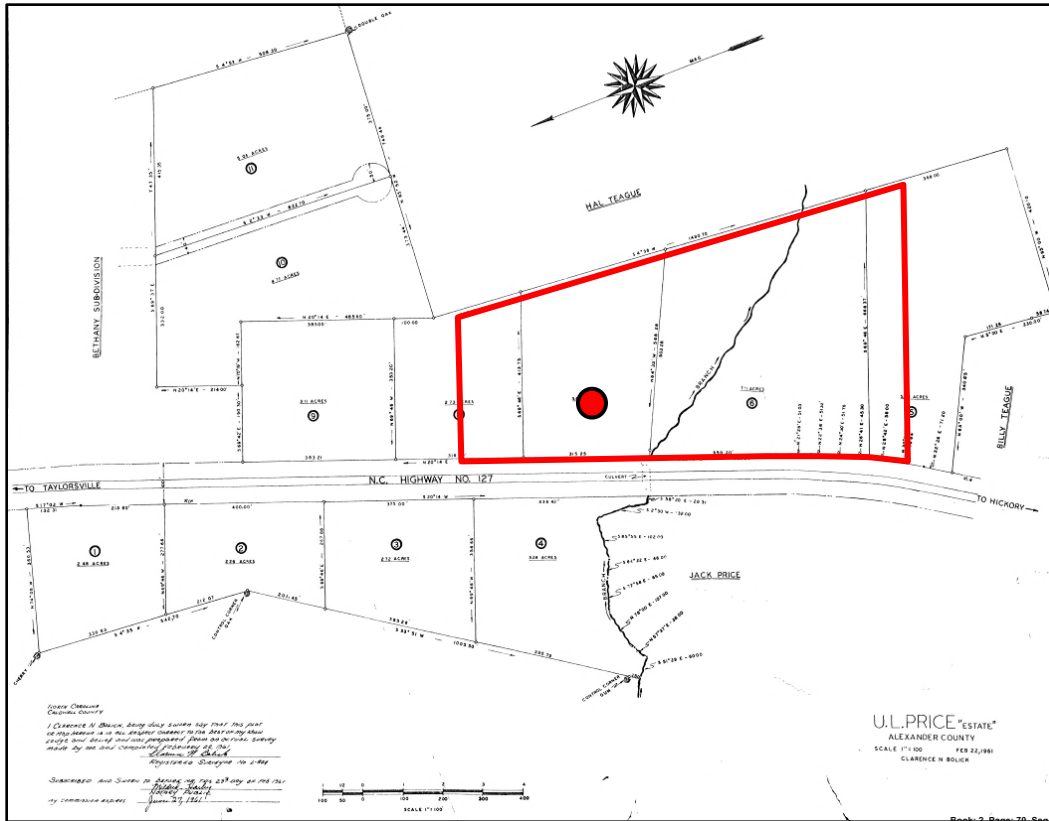


Figure 9: 1961 Plat Map of the U. L. Price Estate. Note: The present-day boundaries of 7031 N.C. 127 Highway (Lots 6, 7 & 8 on map) are outlined in red and the approximate location of the circa-1885 dwelling is marked by a red circle.¹⁸

The farmstead at 7031 N.C. 127 Highway is a fairly typical example of a late-nineteenth-century rural historic landscape in Alexander County. Although the primary dwelling appears to be in generally stable condition, it has undergone a number of changes and modifications over time, including two one-story additions. While it maintains adequate integrity of location and, to some degree, feeling and setting, the loss of original fabric and the installation of later-period materials (i.e., metal awning windows, the Ranch-/Contemporary-style front door, aluminum siding, and replacement windows), and the deteriorating condition of some of the outbuildings, have had a cumulative and negative impact on the property's integrity with regard to materials, design, workmanship.

¹⁸ ACPB 2:70.



Photo 7: The D. P. Shufford House, 6108 West N.C. 10 Highway (CT0988).



Photo 8: 6232 St. Peters Church Road, Conover, North Carolina (CT0988).



Photo 9: John A. Lentz House (CT0181), 312 9th Street NW, Hickory, NC.
Note: This house was listed on the National Register in 2010.

To be eligible for the NRHP as a rural historic landscape under Criterion A, a resource must have three qualities: 1) the characteristics must have served or resulted from an important event, activity, or theme in agricultural development as recognized by the historic contexts for the area; 2) the property must have had a direct involvement in the significant events or activities by contributing to the area's economy, productivity, or identity as an agricultural community; and 3) through historic landscape characteristics, the property must cogently reflect the period of time in which any important events took place.¹⁹ In addition to the integrity issues discussed above, the 7031 N.C. 127 Highway property bears no known associations with any significant events or historic trends relating either to agricultural development or in general. Given this, this resource is recommended not eligible for listing in the NRHP under Criterion A.

For a resource to be considered eligible under Criterion B, it must be associated with a person who is “individually significant within a historic context” and has “gained importance within his or her profession or group”²⁰ (NPS 2015). The people that owned or occupied this farm are not known to have made significant contributions to area history and as a result this resource is recommended not eligible under Criterion B.

Criterion C as outlined by NPS pertains to “properties significant for their physical design or construction, including such elements as architecture, landscape architecture, engineering,

¹⁹ McClelland et al. 1999.

²⁰ National Park Service (NPS) 2015.

and artwork.” For a resource to be eligible for the NRHP under Criterion C, it must “Embody distinctive characteristics of a type, period, or method of construction, represent the work of a master, possess high artistic value, or represent a significant and distinguishable entity whose components may lack individual distinction.” Though the primary dwelling at 7931 N.C. 127 Highway is in stable condition and generally representative of a common, late-nineteenth century house form in rural Alexander County (i.e., two-story, three-bay building with a side-gable roof), there are better extant examples in the region. Given this and the building’s noted integrity issues, it is recommended not eligible for listing in the NRHP under Criterion C.

For a property to be eligible under Criterion D, it must meet two requirements: 1) the property must have, or have had, information to contribute to our understanding of human history or prehistory, and 2) the information must be considered significant.²¹ The farm complex at 7031 N.C. 127 Highway is not likely to yield any new information pertaining to the history of building design or technology. Therefore, this resource is recommended not eligible under Criterion D.

In sum, the property at 7031 N.C. 127 Highway **is recommended not eligible for listing in the NRHP under any Criteria.**

²¹ Ibid.

AX0066: House at 225 Richey Road

Date of Construction: Circa 1910

Modifications: Circa 2000

225 Richey Road

Hickory, Alexander County, North Carolina

PIN: 3716-39-9493

Eligibility Recommendation: Not Eligible



Architectural Description

The resource 225 Richey Road is located on the southwest side of Richey Road in a rural area of Alexander County, North Carolina. Built on an irregularly shaped lot measuring approximately 17.78 acres, the resource is immediately surrounded by a manicured grass lawn and well-tended but uncultivated fields with a small pond located to the west of the primary resource (Figure 10–Figure 11, pp. 21–22). Wood fences enclose the property on the northwest, northeast, and southeast sides, with brick gate-posts near the road in line with the primary resource. Brick walkways run from the primary entrance on the northeast elevation to the main road, passing through brick gate-posts, and also from a secondary entrance on the southwest elevation to a gravel driveway. Secondary resources include a silo, barn, two garages, machine shed, well house, and cell tower. The property is bordered by residences to the north and agricultural fields on all other sides. While the homeowner did grant general access to the property, access to the inside of the house was denied.

The two-and-a-half story, three-bay, single-family dwelling was constructed around 1910 in the Queen Anne style; however, according to the current homeowner, it was heavily modified in the late 2000s and early 2010s (Photo 10, p. 23) (Jerry McCaleb, personal communication 2017). A brick pier foundation, covered in a running-bond brick veneer, supports the vinyl-clad, frame structural system. The moderately pitched hipped roof is sheathed in asphalt shingles and features an off-centered, front-gabled peak on each elevation. Each peak features vinyl siding in the gable end and a single-light, fixed, vinyl window with false muntins designed to give the appearance of diamond panes. An ornamental, metal-sheathed, pyramidal-roofed cupola sits on the center ridgeline.

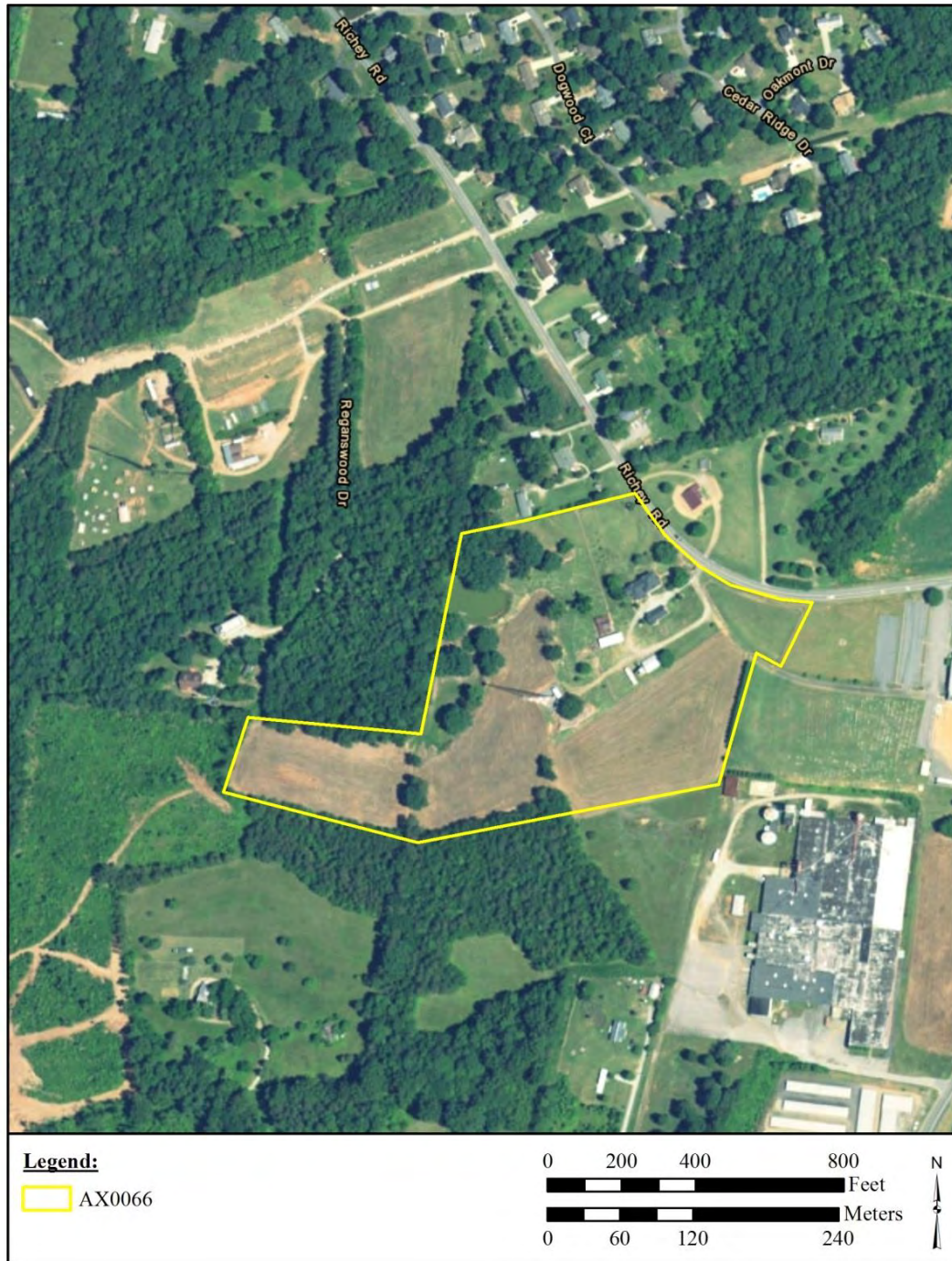


Figure 10: Location and Parcel Boundaries of the House at 225 Richey Road (AX0065).²²

²² Esri 2017.

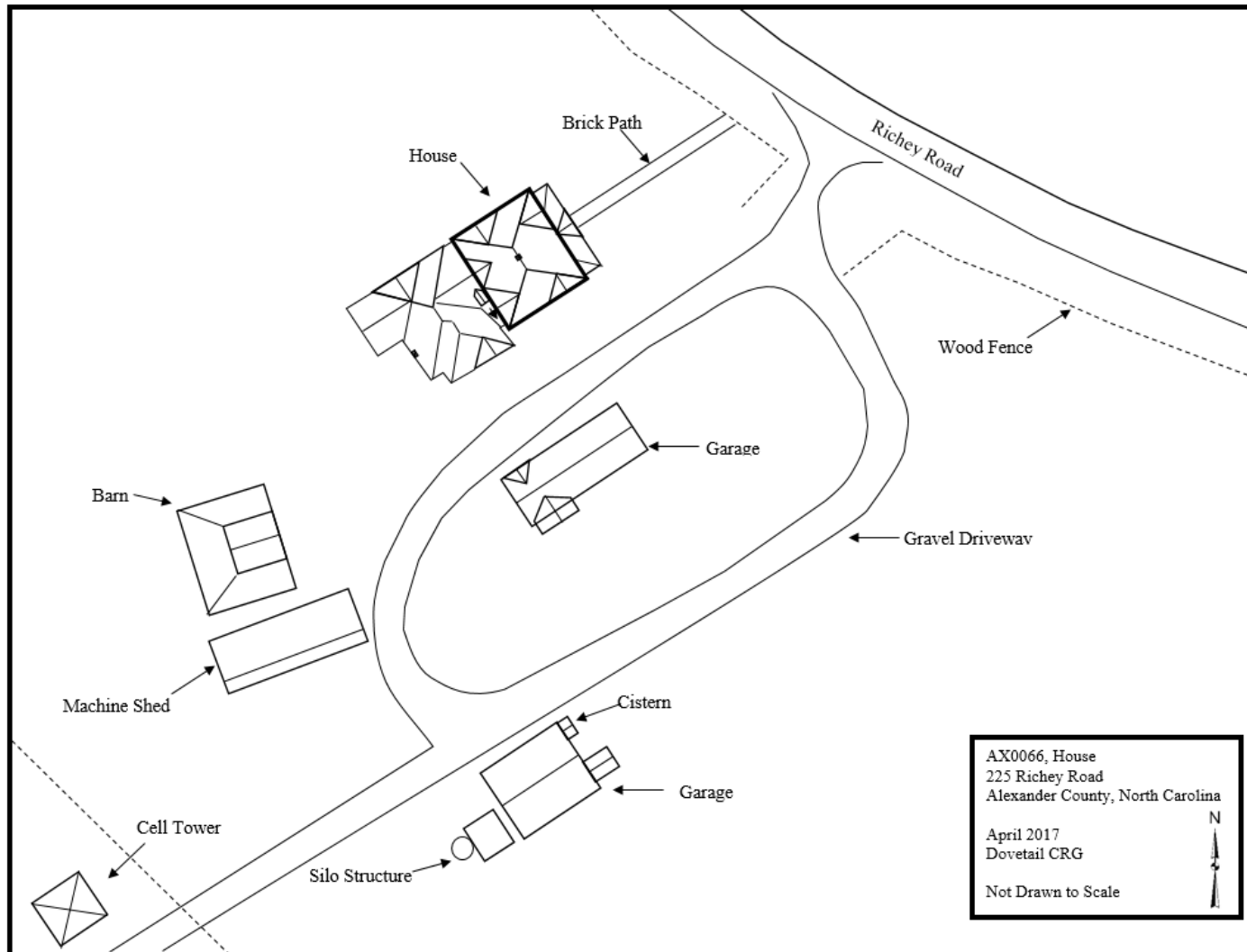


Figure 11: Site Plan for the House at 225 Richey Road (AX0067).

The primary entrance, located on the northeast elevation, contains a single-leaf, half-glazed, single-paneled wood door within a wood surround composed of two half-glazed, single-paneled, wood sidelights and features a storm door. Additional fenestration includes one-over-one, double-hung-sash, vinyl replacement windows and a vinyl bay window set on the northwest elevation. The windows on the first story of the primary (northeast) elevation feature vinyl, false muntins on the upper sash laid in cathedral-and-diamond-pane pattern; this same pattern using the vinyl false muntins is also present on the central light in the bay window. A one-story, full-width porch spans the house's northeast elevation (Photo 11, p. 24). Built atop a brick-veneer-clad foundation, the porch features a Hardie-board deck and a hipped roof sheathed in asphalt shingles with a centered, front-gabled projection. Square, wood columns support the porch's roof and are linked by a decorative wood railing. Matching square, wood pilasters provide visual balance to the porch. Two brick steps lined with metal rails connect the porch to the brick path that runs to the main road.

A one-and-a-half-story, four-bay addition was appended to the house's southwest elevation in the late-twentieth century and connects to the main house by way of a narrow one-and-a-half-story, side-gabled hyphen (Photo 12, p. 24). This hyphen features a front-gabled dormer on the roof's southeastern slope and single-leaf door within a recessed entry on the southeast elevation. This recessed entry is accessed by a set of brick steps lined with a metal rail.



Photo 10: House at 225 Richey Road, Northeast Elevation.

The addition was designed to aesthetically echo the original core, including the vinyl siding and hipped roof. An exterior-end brick chimney abuts the southwest elevation. Additional fenestration in the addition includes one-over-one, double-hung-sash, vinyl, replacement windows, single-light, fixed, vinyl windows, and two secondary entrances filled with single-leaf doors—one on the southwest elevation and one on the northwest elevation. Most of the window openings are filled with a single double-hung-sash window, but one window bay on

the southeast elevation is filled with four vinyl, replacement, one-over-one windows and one on the northwest is filled with three. A one-story, two-bay, front-gabled porch extends from the addition's southwest elevation. Built on a brick-veneer-clad foundation, the porch's steeply pitched, front-gabled roof is supported by square wooden posts with metal railings (Photo 13, p. 25). A set of brick steps leads from the southwest side of the porch to a brick pathway that connects to the driveway.



Photo 11: House, North Oblique.



Photo 12: House, Addition Detail, Southeast Elevation.



Photo 13: House, Addition Detail, Southwest Elevation.

Historically, the property at 225 Richey Road has had numerous secondary resources including both domestic and agricultural outbuildings affiliated with it. Currently, six secondary resources fall within the property's boundaries, but the current homeowner indicated that several other historic outbuildings were affiliated with the property through the early 2000s, including a cow barn, detached kitchen, and a root cellar (Jerry McCaleb, personal communication 2017). However, these buildings were structurally unsound and in poor condition when they were removed between 2000 and 2014.

A one-story, four-bay, circa-1940 garage sits to the south of the primary resource (Photo 14, p. 26). Covered by a side-gabled roof sheathed in v-crimp metal with weatherboard in the gable ends, the concrete-block structure features two overhead, metal garage doors and a single-leaf, half-glazed door on the northwest elevation. Other fenestration includes one-over-one, double-hung-sash, vinyl windows. A one-story, two-bay, prefabricated shed has been appended to the garage's northeast elevation. Built on a continuous, concrete foundation, the shed addition is topped by a front-gabled roof and is completely covered in aluminum siding. Two one-over-one, double-hung-sash, metal windows sit on the northwest elevation of the addition. A circa-1950 cistern is located immediately adjacent to the garage's northeast elevation. The surrounding structure is made of concrete blocks and covered by a shed roof sheathed in standing-seam metal with exposed rafter tails on the northwest and southeast (Photo 15, p. 26). A small opening is centered on the northeast elevation.



Photo 14: Garage, Northwest Elevation.



Photo 15: Cistern and Garage, North Oblique.

A pair of circa-1905 silos sit to the south of the primary resource (Photo 16, p. 27). The two cylindrical silos, approximately 15 feet high, are connected by a central rectangular shaft with a built-in ladder to access the interior. Both silos are composed of structural terra cotta lined on the inside with poured-concrete, and feature poured-concrete floors. The southwestern silo is empty and does not have a roof. An open bay is located on the northwest elevation. The northeastern silo has been converted into a small bathroom with a toilet and sink and is topped by a square, flat metal roof. A single-leaf, replacement door opens on the northwest elevation.



Photo 16: Silo Structure, Looking Northwest.

A one-and-a-half-story, five-bay, circa-2000 garage sits to the southeast of the primary resource (Photo 17). Built on a continuous foundation clad in brick veneer, the garage's frame structural system is covered in vinyl siding. A side-gabled roof with two front-gabled peaks sheathed in asphalt shingles covers the garage. Three overhead, metal garage doors are located in the three northern bays on the northwest (primary) elevation, while a single-leaf, six-panel door fills the second-most-western bay. Additional fenestration includes one-over-one, double-hung-sash, vinyl windows and single-leaf, fixed, vinyl windows with false muntins that give the appearance of diamond panes in the peaks.



Photo 17: Garage, North Oblique.

Southwest of the dwelling is a one-story, four-bay machine shed constructed around 1960 (Photo 18). Capped by a corrugated-metal, shed roof with a small pentice lining the southeast elevation, the frame building is clad in v-crimp metal on the northwest, southwest, and northeast elevations. The eastern-most bay on the southeast elevation is partially enclosed by a sheet of v-crimp metal across the top of the bay while a metal-pole gate covers the bottom of the bay, while the remaining three bays are open.



Photo 18: Machine Shed, East Oblique.

A one-and-a-half-story, one-bay, circa-1905 corn crib sits to the southwest of the primary resource (Photo 19). The wood-frame building is clad in weatherboard siding and is topped by a steeply-pitched, front-gabled roof sheathed in v-crimp metal. A single-leaf wood door is centered on the northeast elevation. A single-light wood window sits in the gable end of the half story. A one-story, U-shaped, lean-to addition encloses the entire resource except northeast elevation. Featuring the same materials as the granary, the addition creates two open bays that flank the main core providing space for machine storage.



Photo 19: Granary, Northeast Elevation.

A circa-2000 cell tower sits to the southwest of the primary resource (Photo 20). Built on a poured-concrete pad, the tower is set at the end of a gravel driveway that extends from the poured-concrete driveway and loops in front of the primary resource. It is separated from the primary resource and all of the other outbuildings by a wood-and-barbed-wire fence that is marked “no trespassing.”



Photo 20: Cell Tower, Looking Southwest.

Historic Context

The present-day property at 225 Richey Road is 17.75 acres in size, but at one time, was part of a much larger 600-plus acre estate belonging to David Taylor [D. T.] Johnson (1872–1932). The latter was the son of A. Pinkey Johnson (1830–1889), a prominent landholder in nineteenth century Alexander County, and Julia Ann Bowman Johnson (1840–1915).²³

Following Pinky Johnson’s death in 1889, his rather substantial estate was subdivided into several lots. Lot number 3, which included three continuous tracts totaling 267 acres and a 0.5-acre lot in the town of Taylorsville, was assigned to David. He added to his landholdings over time, including 340 acres in 1894 and two smaller parcels of 9.0 and 10.0 acres, in 1900.²⁴

²³ Find A Grave 2017c.

²⁴ ACDB R:300, P:167, U:237.

According to the 1910 U.S. Census, D. T. Johnson, then 29 years old, was living on Liledown [sic] Road, in the county's Whittenburg Township area, which is likely his late father's former home tract. His household included his mother, Julia Ann, his wife Bertha, and two daughters, Essie A. and Rubie [sic] I. Johnson. His occupation was listed as "farmer." That same year, Johnson reportedly began building the two-story frame dwelling currently associated with 225 Richey Road, using lumber harvested and milled on the property²⁵

A highway map of Alexander County published in 1938, shows a structure of some type in close proximity to the present-day 225 Richey Road (Figure 12, p. 30).

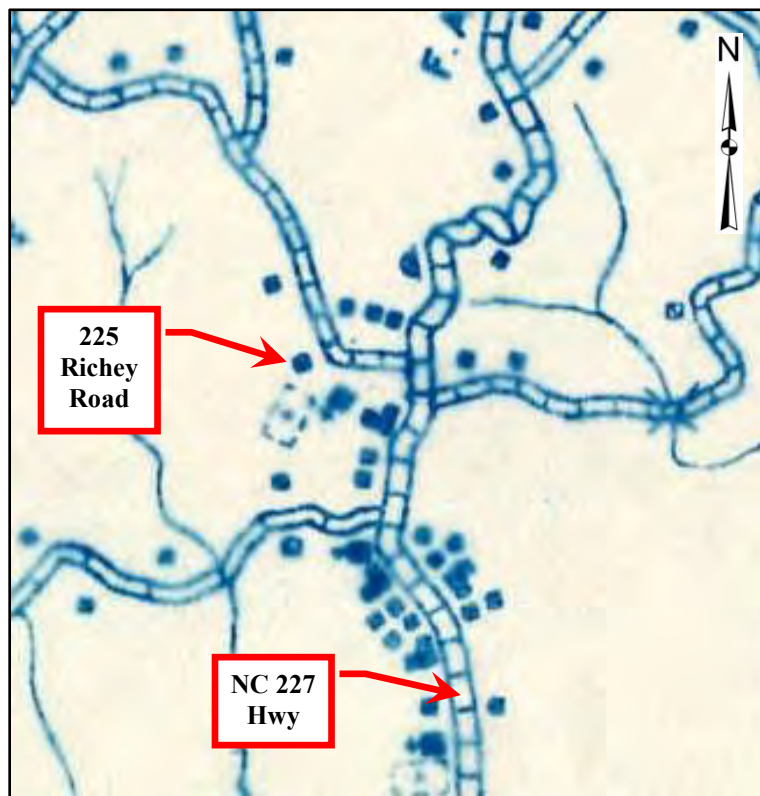


Figure 12: The Vicinity of 225 Richey Road as Shown on a 1938 Highway Map of Alexander County.²⁶

Johnson passed away in 1930. His 600-plus-acre estate was split into three lots and conveyed to his three daughters. Lot 1, consisting of a 59-acre tract and a 1.5-acre lot in the town of Taylorsville, went to Essie Johnson Gilreath. Lot 3 included a 70-acre tract and 14 lots in a second subdivided tract, was granted to Marry M. Johnson Coonse. Lot 2, conveyed to Ruby

²⁵ McCaleb 2017.

²⁶ North Carolina State Highway and Public Works Commission [NCSH&PWC] 1938.

Ilena Johnson Sigmon, encompassed 115 acres and included the present-day 225 Richey Road property and its circa-1910 home.²⁷

It is not entirely clear from historical records if D. T. Johnson ever actively resided on the 225 Richey Road property. His daughter, Ruby, and her husband Ralph Sigmon did live in the home, possibly moving in right after they were married in 1927.²⁸ Over time, the tract was steadily subdivided and sold off, including a 4.163-acre parcel to the Bethlehem Baptist Church of Alexander County in 1999.²⁹ The historic aerials shown below offer some perspective on how the site evolved during the last half of the twentieth century (Figure 13–Figure 16, pp. 31–34).

In 1995, Ruby and her brother, Fred Sigmon, entered into a memorandum of agreement with the Centel Cellular Company to lease a portion of their property, approximately 350 feet southwest of the main house, to install a new, multi-hundred-foot cellular tower.³⁰ Finally, in 2006, the family’s long-time association with the property ended when the executor of the late Ruby J. Sigmon’s estate sold the remaining 17.775 acres to its current owners, Jerry and Gret H. McCaleb.³¹

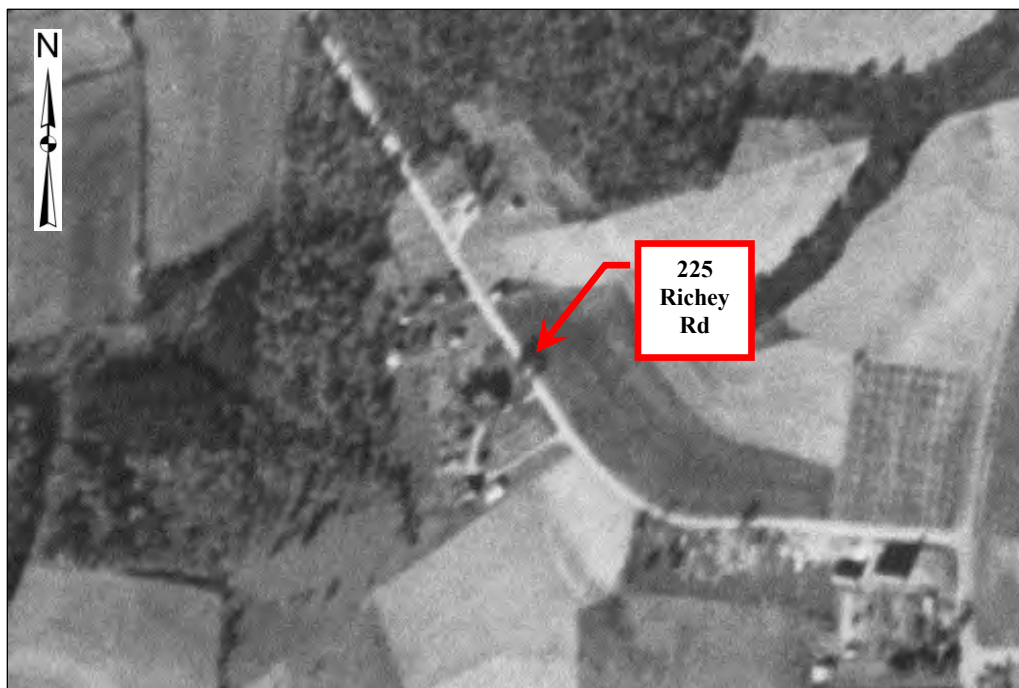


Figure 13: 1951 Aerial View of 225 Richey Road.

²⁷ ACDB 37:259.

²⁸ North Carolina, Marriage Records, 1741–2011.

²⁹ ACDB 398:245.

³⁰ ACDB 369:1707.

³¹ ACDB 493:709.

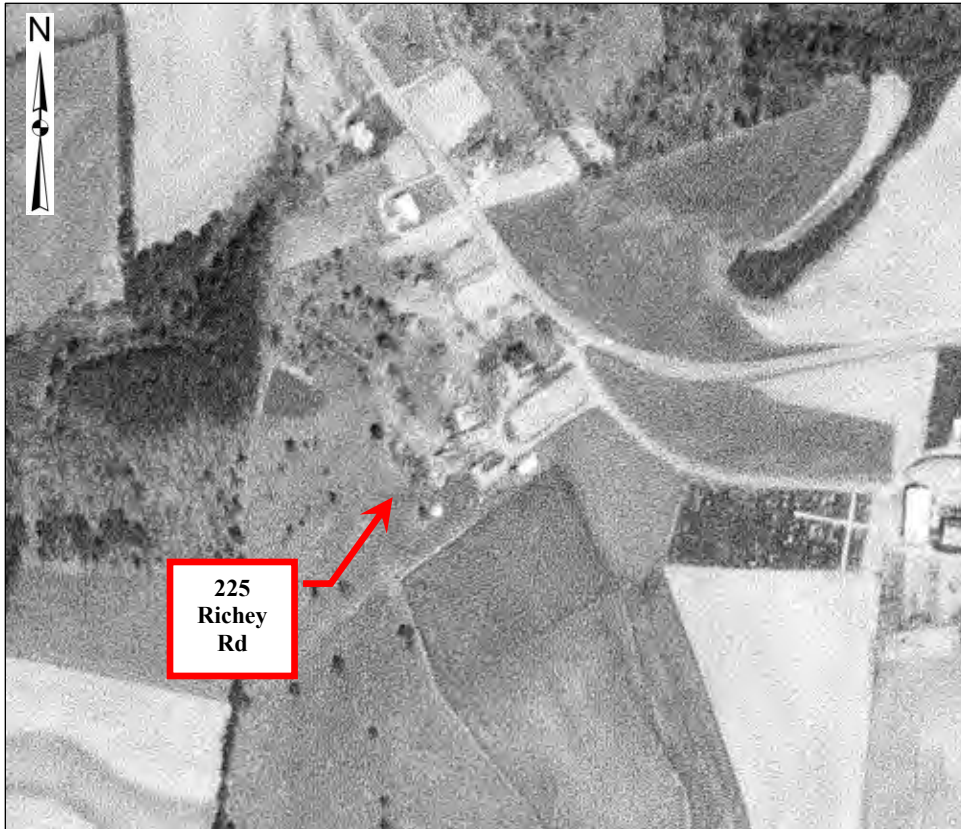


Figure 14: 1964 Aerial View of 225 Richey Road.³²

³² USGS 1964.

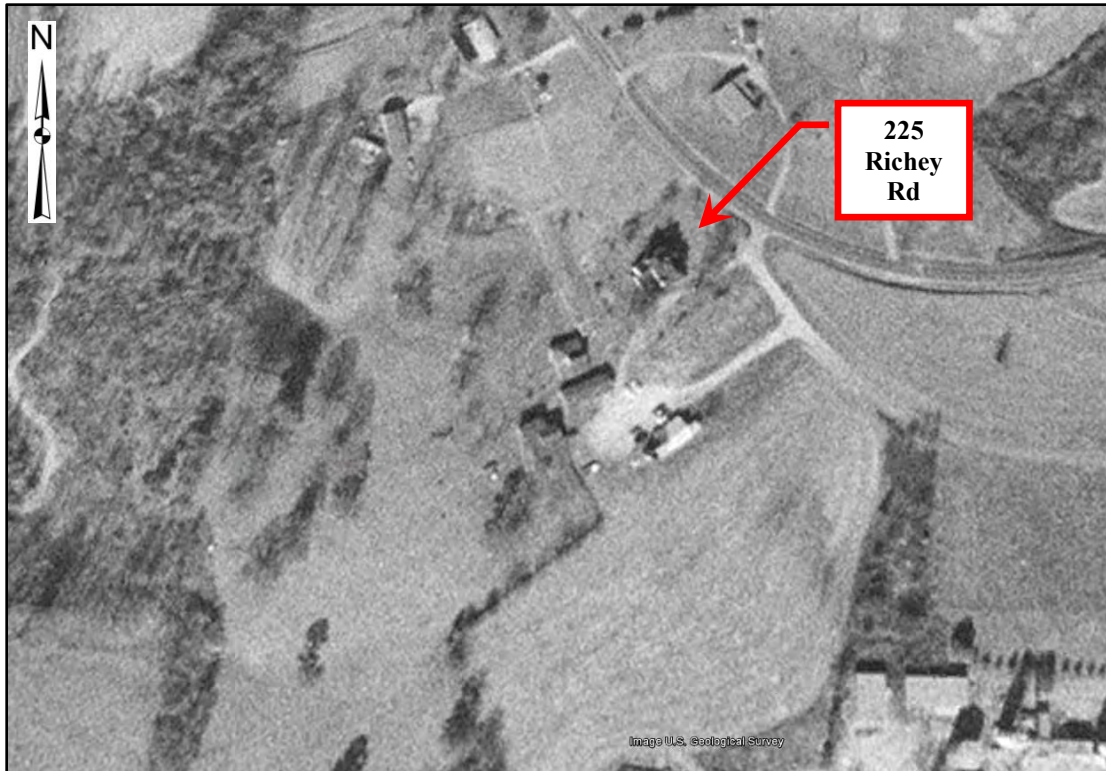


Figure 15: 1993 Aerial View of 225 Richey Road.³³

Evaluation

The circa-1910, Queen Anne-style dwelling at 225 Richey Road remains in generally good condition and its original Queen Anne style is still discernable. No similarly styled dwellings were observed in the immediate area, but a fair number can be found in and around the more densely populated, urban centers of Alexander and surrounding counties. For example, the house at 533 3rd Avenue NW was built around the turn-of-the-century in northwest Hickory to the south (Photo 21, p. 34).

Although a good example of a Queen Anne form, a number of changes made 225 Richey Road and the associated agricultural complex over time have had an impact on this resource's historic integrity. As part of the recent remodeling efforts completed in the early 2000s and early 2010s, the dwelling's original windows were removed and replaced with vinyl units, and vinyl siding was applied to the exterior.

³³ USGS 1993.



Figure 16: 1993 Aerial View of 225 Richey Road.³⁴



Photo 21: 533 3rd Avenue NW, Hickory, NC.

³⁴ Google Earth 2017.

During the most recent field visit, the property's current owner confirmed that in the course of the recent renovations, they attempted to retain as much of the interior fabric, finishes, and decorative details as possible. Access to the interior was not permitted however, so an assessment was not possible.

Similar modifications have been made across the landscape. Several original outbuildings, including a cow barn, detached kitchen, and a root cellar, were demolished in the early 2000s and in 2014 due to extensive deterioration and structural failure.³⁵

Lastly, the site has also been impacted by gradual encroachment of modern commercial and industrial development in and around the N.C. 127 Highway-Richey Road intersection, and the circa-2000 installation of a several hundred-foot-tall cellular tower near the south edge of the property's built complex.

In sum, this resource retains adequate integrity of location, but aspects relating to design, materials, workmanship, setting, feeling, and association have all been negatively impacted to varying degrees by the factors just discussed.

The National Park Service (NPS) outlines the considerations for which a property can be eligible for the NRHP under Criterion A. They are as follows: "To be considered for listing under Criterion A, a property must be associated with one or more events important in the defined historic context [...] The event or trends, however, must clearly be important within the associated context [...] and it must retain historic integrity."³⁶

Moreover, to be eligible for the NRHP as a rural historic landscape, a resource must have three qualities: 1) the characteristics must have served or resulted from an important event, activity, or theme in agricultural development as recognized by the historic contexts for the area; 2) the property must have had a direct involvement in the significant events or activities by contributing to the area's economy, productivity, or identity as an agricultural community; and 3) through historic landscape characteristics, the property must cogently reflect the period of time in which the important events took place.³⁷

Due to the diminished integrity issues discussed above, the farm complex and house at 225 Richey Road does not possess any of these qualities to sufficient degree and is, therefore, recommended not eligible for listing on the NRHP under Criterion A.

For a resource to be considered eligible under Criterion B, it must be associated with a person who is "individually significant within a historic context" and has "gained importance within his or her profession or group"³⁸ The people that owned or occupied this farm are not known to have made significant contributions to area history and as a result this resource is recommended not eligible under Criterion B.

³⁵ Ibid.

³⁶ NPS 2015.

³⁷ McClelland et al. 1999.

³⁸ NPS 2015.

Criterion C as outlined by NPS pertains to “properties significant for their physical design or construction, including such elements as architecture, landscape architecture, engineering, and artwork.” For a resource to be eligible for the NRHP under Criterion C, it must “Embody distinctive characteristics of a type, period, or method of construction, represent the work of a master, possess high artistic value, or represent a significant and distinguishable entity whose components may lack individual distinction.”³⁹ Though the dwelling at 225 Richey Road exhibits features characteristic of the Queen Anne style, better examples exist in the region. Given this, and the building’s diminished integrity of design resulting from the application of vinyl siding, the replacement of original windows, and sizable additions, it is recommended not eligible for the NRHP under Criterion C.

For a property to be eligible under Criterion D, it must meet two requirements: 1) the property must have, or have had, information to contribute to our understanding of human history or prehistory, and 2) the information must be considered significant.⁴⁰ The farm complex and house at 225 Richey Road is not likely to yield any new information pertaining to the history of building design or technology. Therefore, this resource is recommended not eligible under Criterion D.

In sum, the property at 225 Richey Road **is recommended not eligible for listing in the NRHP under any criterion.**

³⁹ Ibid.

⁴⁰ Ibid.

AX0067: House at 7625 N.C. Highway 127

Date of Construction: Circa 1951

7625 N.C. Highway 127
Hickory, Alexander County, North Carolina
PIN: 3716-58-5666
Eligibility Recommendation: Not Eligible



Architectural Description

The house at 7625 N.C. Highway 127 is located on the east side of the road in a semi-rural area of Alexander County, North Carolina. The house is situated on an irregularly shaped parcel that measures about 8.58 acres and is accessed by a poured concrete driveway that extends east from N.C. Highway 127 and encircles the primary resource (Figure 17, p. 38 and Figure 18, p. 39). Two poured-concrete walkways extend south from the driveway to connect to the primary and secondary entrance. The remainder of the lot is covered by a manicured grass lawn as well as several medium-sized deciduous trees. The resource is bordered by heavy industrial complexes to the east and west and other residences and agricultural fields to the north and south. The primary elevation of the resource faces west toward North Carolina Highway 127. Three foundations as well as a poured concrete well cap are all associated with the house at 7625 N.C. Highway 127.

The house is a one-story, five-bay, single family dwelling constructed around 1951 with Ranch-style attributes (Photo 22, p. 40). Interior access was not granted during the current survey. The continuous concrete-block foundation is clad in a running-bond brick veneer on all elevations except the east elevation. Though the structural system was not visible at the time of this survey, the age and massing of the house suggest that it is also concrete block. The resource is clad in replacement vinyl siding and covered by a low-pitched, hipped-on-gable roof sheathed in asphalt shingles. The roof features vinyl siding in the north gable end and weatherboard in the south gable end. A hipped projection extends from the south of the west elevation. A central-interior brick chimney pierces the ridgeline.

The primary entrance—a single-leaf, two-paneled wood door with six fixed lights at the top and covered by a metal-and-glass storm door—is located to the south of the west elevation under an entry porch. The entrance is recessed and faces west. All elevation of the resource feature paired and single, one-over-one, double-hung-sash, vinyl windows with false muntins. All of the windows have vinyl surrounds and sills. The windows on the north and west elevations are flanked by paneled vinyl shutters. The resource is built on a slight hill, therefore the basement is visible on the rear (east) elevation (Photo 23, p. 40). The basement features four-light, fixed, wood-framed windows as well as a secondary entrance which is filled with a single-leaf, two-paneled, wood door with six fixed lights at the top.



Figure 17: Location and Parcel Boundaries of the House at 7625 N.C. Highway 127 (AX0067).⁴¹

⁴¹ Esri 2017

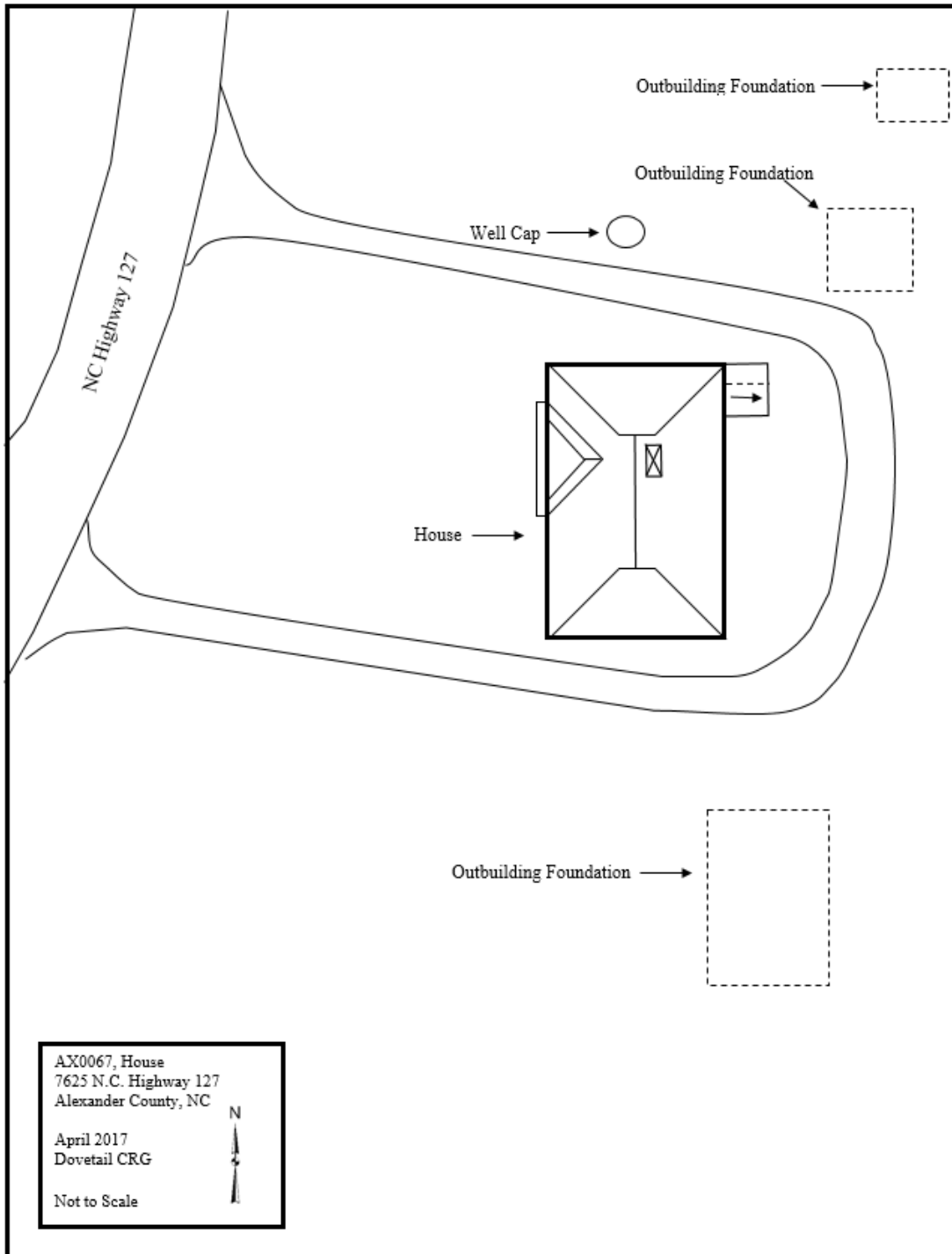


Figure 18: Site Plan for House at 7625 N.C. Highway 127 (AX0067).



Photo 22: House at 7625 N.C. Highway 127, Northwest Oblique.



Photo 23: House at 7625 N.C. Highway 127, East Elevation.

A one-story, one-bay, recessed entry porch is located on the northwest corner of the house (Photo 24, p. 41). It is set on a continuous foundation clad in brick veneer and supported by a square Tuscan column. It is covered by a hipped roof sheathed in asphalt shingles. A secondary entrance is located at the northeast corner of the resource (Photo 24, p. 41). It is set on a continuous foundation clad in brick veneer which supports the structural system that is clad in vinyl siding. It is covered by a shed roof sheathed in asphalt shingles. This addition features a recessed porch supported by a decorative metal post that covers the secondary entrance. The secondary entrance—filled with a single-leaf, three-paneled wood door with six

fixed lights at the top and covered by a metal-and-glass storm door—faces north. Other fenestration on this addition includes paired, single-light vinyl windows with false muntins and a one-over-one, double-hung-sash, vinyl window.



Photo 24: House at 7625 N.C. Highway 127, Northwest Oblique Porch Detail (Left) and Northeast Oblique Porch Detail (Right).

Associated with this primary resource are one well and three foundations. The circa-1950 well cap is located to the north of the primary resource (Photo 25). It is round in shape and made of poured concrete. A circa-1965 poured-concrete foundation is located to the north of the primary resource (Photo 26, p. 42). According to recent aerial photography, the resource was still standing until about 2015. A circa-1980 poured-concrete foundation is located to the north of both the primary resource and the circa-1965 foundation (Photo 26, p. 42). A circa-1970 poured-concrete foundation is located to the southeast of the primary resource (Photo 26, p. 42). According to recent aerial photography, the resource was also still standing until about 2015.



Photo 25: Well Cap, Looking South.



Photo 26: Northernmost Foundation, Looking North (Top Left), Central Foundation Immediately Northeast of the House, Looking North (Top Right), Southernmost Foundation, Looking Southeast (Bottom).

Historic Context

The present-day, 8.58-acre parcel located at 7625 NC 127 Highway (AX0067) was formerly part of two adjoining tracts, 11.0 and 12.0 acres in size, respectively, acquired by C. J. Preslar in 1927 and 1929.⁴²

Preslar retained ownership through the 1930s, but did not reside on or make any substantive improvements to the land during that span. The 1930 U.S. Census suggests that he and his family were living in or near the town of Hickory south of the Catawba River, and lists his occupation as “mail carrier.” It is possible that the tract may have been under cultivation, but nothing has been found in the historical record to date to confirm this.

In 1943, Preslar and his wife, Exie, sold the two tracts, described as lying on the bank of Hickory and Taylorsville Highway (present-day NC 127 Highway), to Clayton M. and Hessie Teague⁴³

⁴² ACDB 22:59, 28:179.

According to Alexander County tax records, the 7625 N.C. 127 Highway parcel's present-day dwelling was constructed circa 1951. A comparison of aerial images from 1947 and 1951 shown in Figure 19 and Figure 20 (p. 44) would appear to confirm this. The 1951 image shows the dwelling clearly. Also visible on the lot are a dirt road extending from the north side of the house to another one-story building on the southeast corner of the N.C. 127 Highway-Teague Town Road intersection (the northwest corner of the parcel). This same building appears to be extant on the 1947 aerial. It is not clear from the images and the historical record, however, what this building's function might have been. Clayton and his brother Joseph reportedly started a furniture and upholstery business, growing it from "a little garage-like operation on the edge of town into a very nice profitable business."⁴⁴ It's possible the building on the corner could have housed the early "garage-like business."

Hessie Teague passed away in 1990 and was followed by her husband, Clayton, in 1992.⁴⁵ Three years later in 1995 their sons, Joseph C. and Daniel C. Teague, in their capacity as co-executors, each acquired, as tenants in common, an undivided one-half interest in the estate. The property, now reduced to 8.581 acres, was described as being located on the southeast corner of N.C. 127 Highway and S.R. 1150 (Teague Town Road). A 1992 plat map drawn at the time of their father's death shows the parcel's boundaries and extant improvements at the time (Figure 21, p. 45).

Two outbuildings are shown near the rear (east) side of the 1951 dwelling, including a one-story frame garage to the northeast and a one-story brick building to the southeast. The garage is the older of the two and is visible in aerials as early as early as 1966.

Sometime between 1993 and 1998, as evidenced by a comparison of aerial images taken in those years (Figure 22, p. 46), the one-story brick building on the northwest corner of the parcel was replaced by a modern gas station (presently an Exxon station).

Joe C. Teague passed away in 2010 and was followed the next year by his brother, Daniel. Each of their interests in the property were conveyed to family trusts in their name.⁴⁶

⁴³ ACDB 37:100.

⁴⁴ O. Williams Fenn, Jr. Oral History n.d.

⁴⁵ Find A Grave 2017b.

⁴⁶ Find A Grave 2017b; ACDB 553:109.

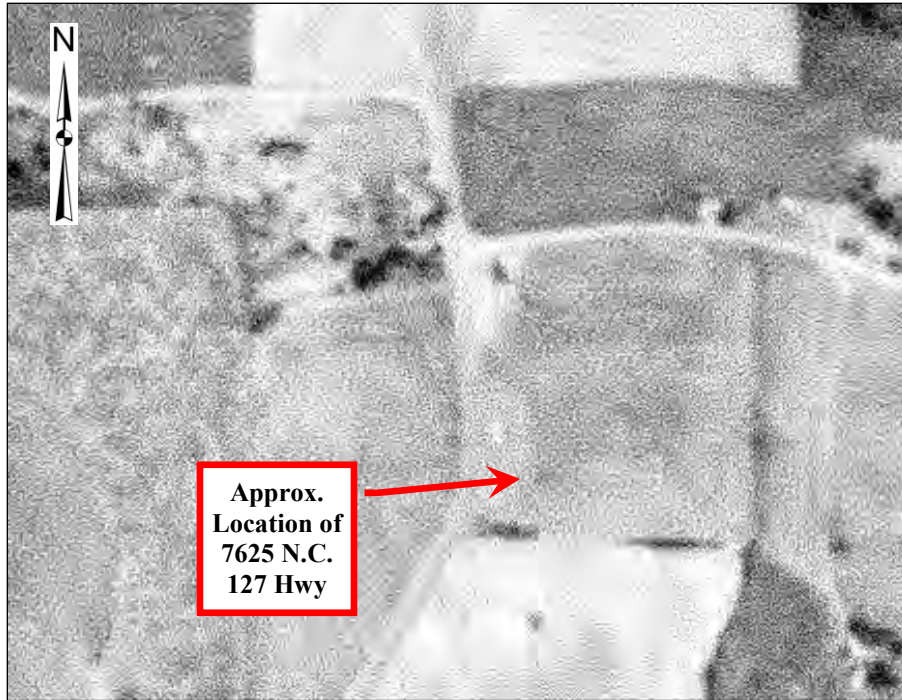


Figure 19: 1947 Aerial View of 7625 N.C. 127 Highway.⁴⁷

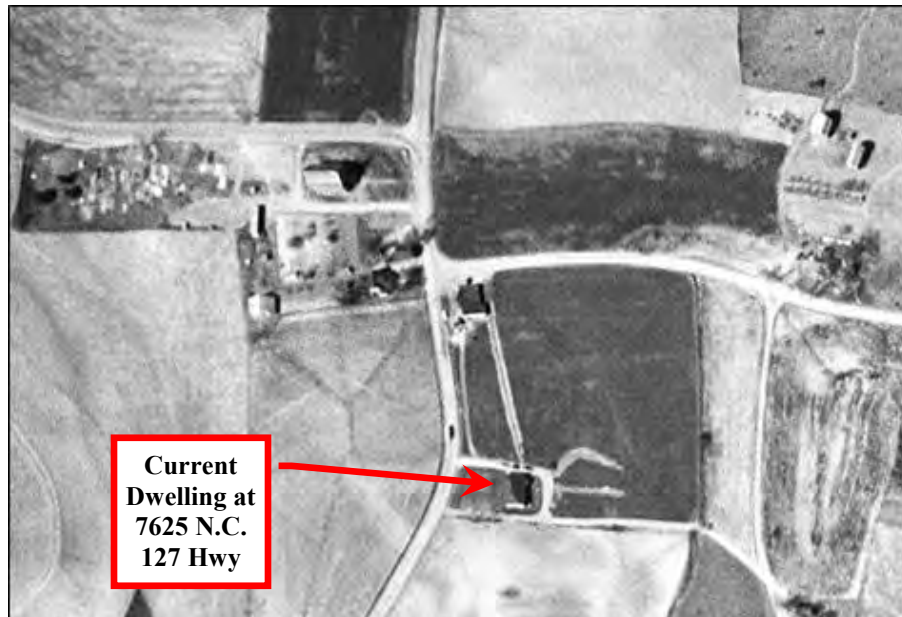


Figure 20: 1951 Aerial View of 7625 N.C. 127 Highway.⁴⁸

⁴⁷ USGS 19471.

⁴⁸ USGS 1951.

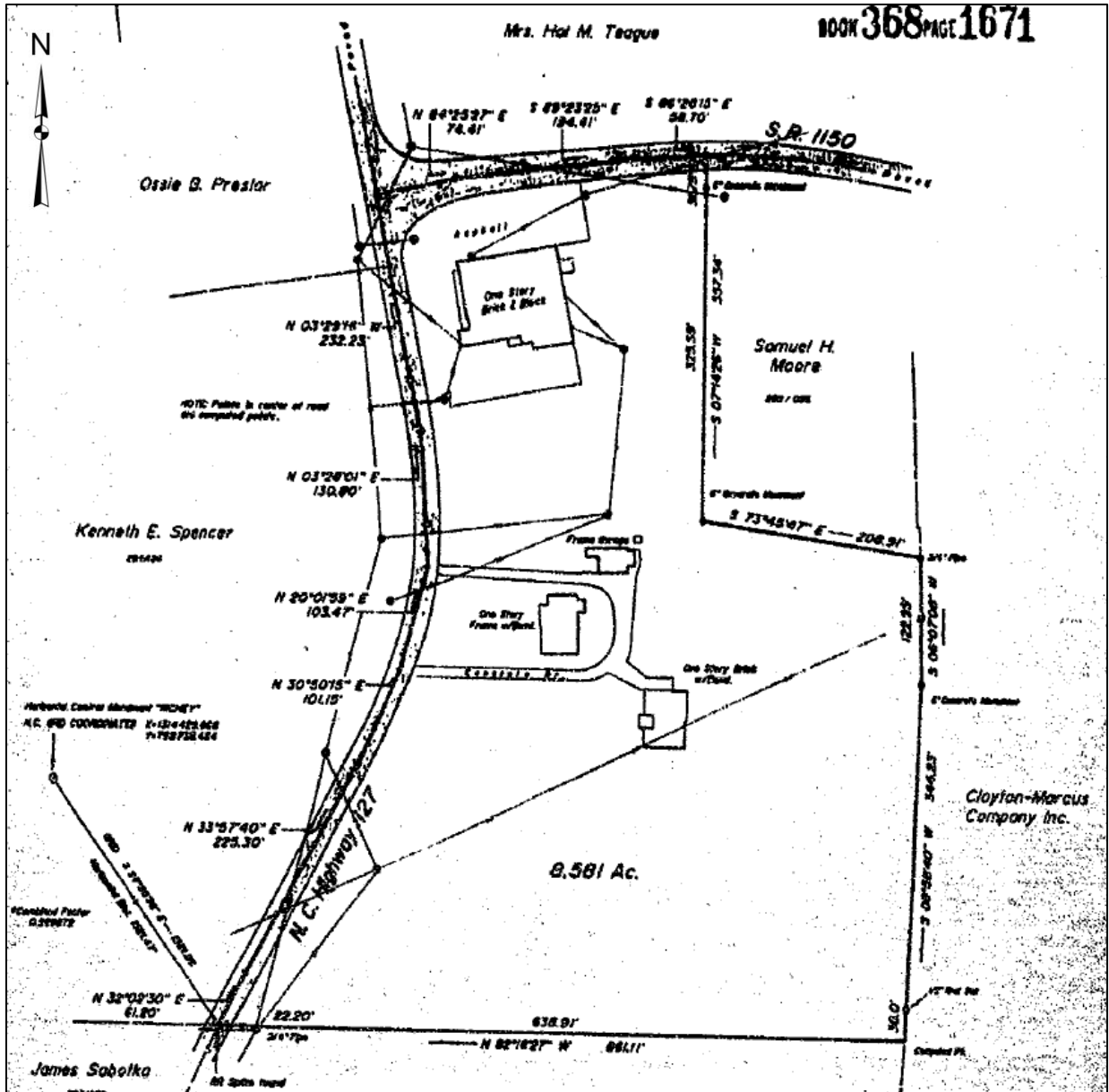


Figure 21: 1992 Plat Map of the Clayton M. Teague Estate (Present-day 7625 N.C. 127 Highway).⁴⁹

⁴⁹ ACDB 368:1671.



Figure 22: 1993 Aerial Photo of the 7625 N.C. 127 Highway Parcel.⁵⁰

Evaluation

Post-World War II housing construction incorporated a range of architectural styles: Colonial Revival, Tudor Revival, the Period Cottage, Craftsman, and modernist-inspired designs like the Contemporary style. Another was the Minimal Traditional style, which manifested in the late 1930s, but remained popular into the 1950s. One of its hallmarks is the combination of

⁵⁰ Google Earth 1993.

traditional elements with modern forms. They were typically one story with asymmetrical facades, a side-gable roof, and, in many cases, a front-facing gable, typically positioned off-center.⁵¹

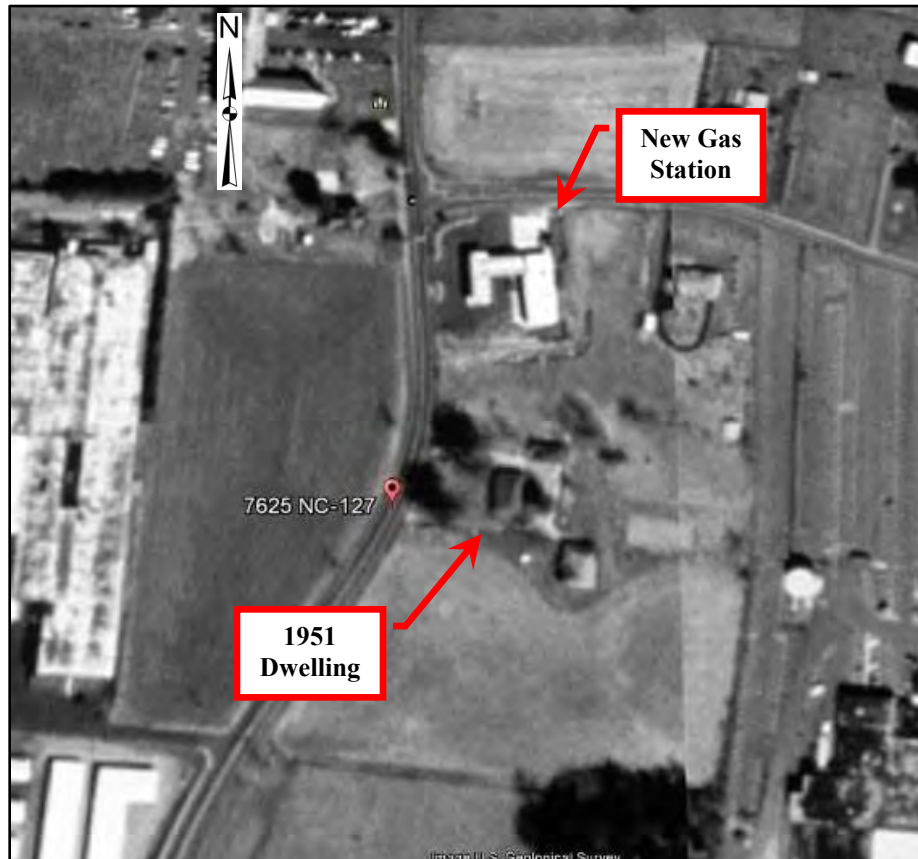


Figure 23: 1998 Aerial View of 7625 N.C. 127 Highway.⁵²

Though missing the typical front-facing gable, the dwelling at 7625 N.C. 127 Highway incorporates a projecting bay to render a sense of asymmetry. Its hip-on-gable roof appears to be somewhat unusual for this era and locale. The building also reflects some Ranch-style qualities, particularly with regard to form and massing. It may constitute an amalgamation of, or transition between the two styles to some degree.

Pictured below are other examples of Minimal Traditional-styled homes noted in the general area (Photo 27–Photo 28, p. 48). The first home, located at 1443 11th Street NW in the city of Hickory, was built in 1950. It exhibits the side-gable roof, a small front-gable element, and an asymmetrical façade. The second example was built a bit later (1985), but features a design somewhat similar to the 7626 N.C. 127 Highway dwelling, marked in particular by the hip-on-gable roof profile.

⁵¹ Acme Preservation Services 2015:49; McAlester 2013:587.

⁵² Google Earth 1998.



Photo 27: Traditional Modern-Styled Home at 1443 11th Street NW, Hickory, North Carolina.



Photo 28: Traditional Modern Home at 2211 12th Street Drive NW, Hickory, North Carolina.

The 7625 N.C. 127 Highway parcel's circa-1951 home appears to be in generally good condition. It retains adequate integrity of location, but aspects of design, materials, workmanship, feeling and association are all impacted by several factors, including the installation of vinyl siding and vinyl windows, the demolition of two formerly associated

outbuildings, and the encroachment of modern development, particularly the modern gas station on the northwest corner of the parcel.

The National Park Service (NPS) outlines the considerations for which a property can be eligible for the NRHP under Criterion A. They are as follows: “To be considered for listing under Criterion A, a property must be associated with one or more events important in the defined historic context [...] The event or trends, however, must clearly be important within the associated context [...] and it must retain historic integrity.”⁵³ The 7625 N.C. 127 Highway resource possesses no known associations with any events that have made a significant contribution to the broad patterns of our history and is therefore recommended not eligible for the NRHP under Criterion A.

For a resource to be considered eligible under Criterion B, it must be associated with a person who is “individually significant within a historic context” and has “gained importance within his or her profession or group.”⁵⁴ The people that owned or resided in the house are not known to have made significant contributions to area history and, as a result, the house at 7625 N.C. 127 Highway is recommended not eligible under Criterion B.

For a resource to be eligible for the NRHP under Criterion C, it must “Embody distinctive characteristics of a type, period, or method of construction, represent the work of a master, possess high artistic value, or represent a significant and distinguishable entity whose components may lack individual distinction.”⁵⁵ Though the dwelling at 7625 N.C. 127 Highway exhibits features characteristic of the Minimal Traditional style, other, more representative examples can be found in the region. Moreover, the building’s integrity of design has been diminished by the application of vinyl siding and the replacement of original windows. For these reasons, it is recommended not eligible for the NRHP under Criterion C.

For a property to be eligible under Criterion D, it must meet two requirements: 1) the property must have, or have had, information to contribute to our understanding of human history or prehistory, and 2) the information must be considered significant (NPS 2015). The 7625 N.C. 127 Highway property is not likely to yield any new information pertaining to the history of building design or technology. Therefore, this resource is recommended not eligible under Criterion D.

In sum, the 7625 N.C. 127 Highway property **is recommended not eligible for listing in the NRHP.**

⁵³ NPS 2015.

⁵⁴ Ibid.

⁵⁵ Ibid.

AX0068: House at 8290 N.C. Highway 127

Date of Construction: Circa 1941

Modifications: Circa 1970

8290 N.C. Highway 127

Hickory, Alexander County, North Carolina

PIN: 3716-55-3382

Eligibility Recommendation: Not Eligible



Architectural Description

The property at 8290 N.C. Highway 127 is located on the west side of the road in a semi-rural area of Alexander County, North Carolina. Built on a wedge-shaped lot that measures approximately 7.4 acres, the resource is immediately surrounded by manicured grass and cultivated agricultural fields (Figure 24, p. 51 and Figure 25, p. 52). A gravel driveway runs from N.C. Highway 127, loops around the primary resource, and reconnects with the road, separating the primary resource from the numerous outbuildings associated with the property. These secondary resources date from the mid-twentieth century and include two barns, a garage, a shed, a machine shed, an outbuilding, and a loafing shed. A partially collapsed outbuilding is visible on 2014 aerial images to the northwest of the loafing shed but does not appear on 2015 aeriels; remnants of its poured-concrete foundation were observed during survey but nothing else is extant.

The house at 8290 N.C. Highway 127 is a one-and-a-half-story, three-bay, single-family dwelling built around 1945 in the Colonial Revival style with a Cape Cod form (Photo 29, p. 53). Interior access was not granted during the current survey. Built atop a foundation clad in a running-bond brick veneer, the house's nonvisible structural system is covered in replacement vinyl siding. A side-gabled roof sheathed in slate shingles tops the house and features three front-gabled dormers on the east roof slope. These dormers feature six-over-one, double-hung sash, wood-framed windows. An exterior-end, coursed-brick chimney sits on the eastern slope of the house's north elevation.

The primary entrance, centered on the east elevation, is filled with a single-leaf, vinyl replacement door with a large, decorative, oval light and a storm door. The door is set within a plain, classically-inspired surround with wooden pilasters. Two brass sconces flank the door. A poured-concrete stoop clad in brick veneer with three poured-concrete steps leads to the door. Additional fenestration on the primary (east) elevation includes paired, one-over-one, double-hung-sash, vinyl windows with false muntins and six-over-one, double-hung-sash, wood-framed windows. All are flanked by fixed louvered shutters. A one-story, one-bay porch is located on the house's north elevation (Photo 30, p. 53). Built on a foundation clad in brick veneer, the porch's side-gabled roof is sheathed in slate shingles and supported by square wood posts. A set of four steps are located at the eastern end of the north elevation leading to the porch and connects directly to the driveway.



Figure 24: Location and Parcel Boundaries of the House at 8290 N.C. Highway 127 (AX0068).⁵⁶

⁵⁶ Esri 2017.

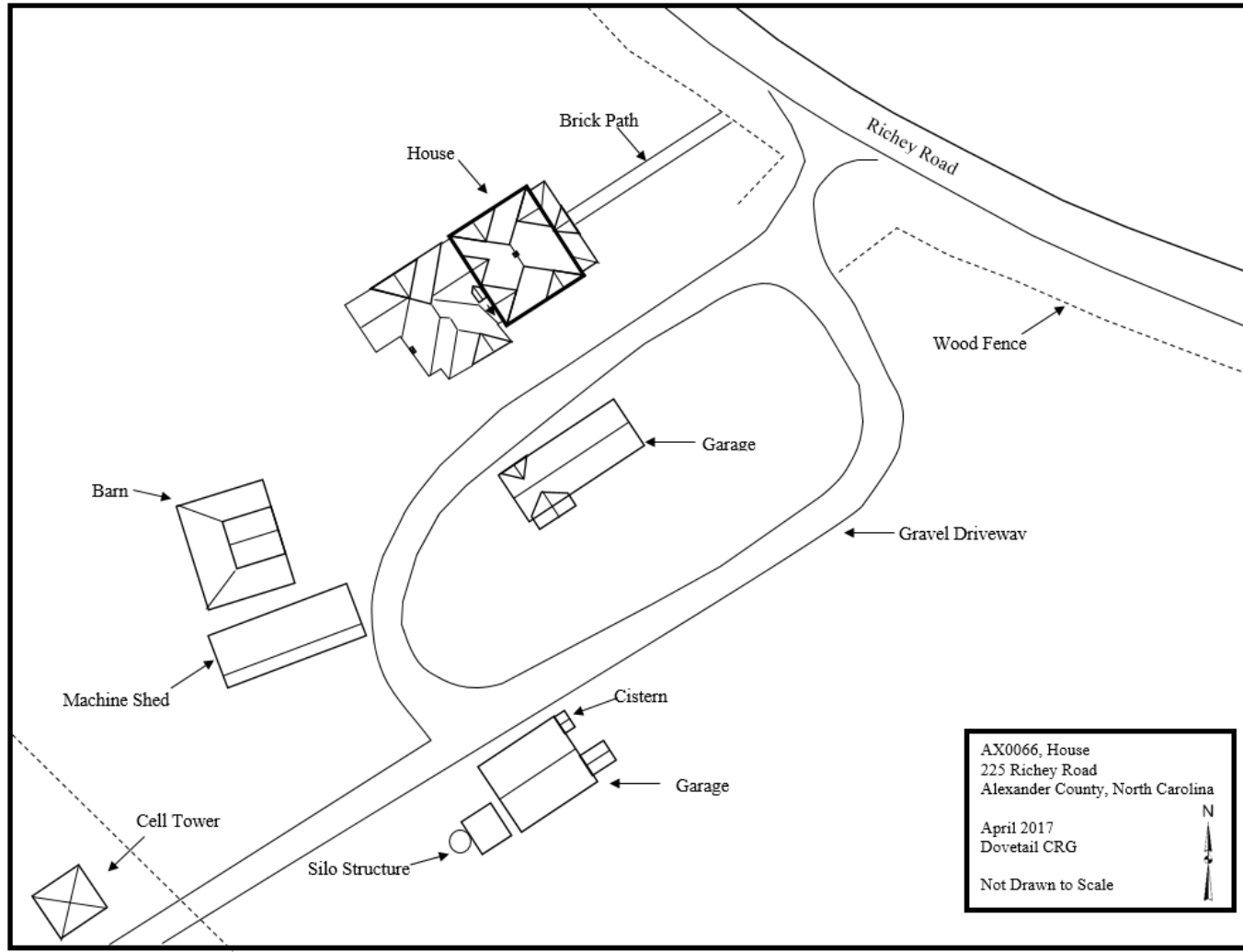


Figure 25: Site Plan for House at 8290 N.C. Highway 127.



Photo 29: House, East Elevation.



Photo 30: House, North Elevation.

A one-story, one-bay, enclosed-porch addition is located on the southwest corner of the resource (Photo 31). Likely dating from the late-twentieth century, the addition is clad in vinyl siding and is topped by a shed roof sheathed in asphalt shingles that slopes to the west. A metal storm door opens on the west elevation. A set of three poured-concrete steps leads to a storm door on the west elevation and connects to a poured-concrete pad and then the driveway. Additional fenestration includes three sets of paired one-over-one, double-hung-sash, vinyl windows with false muntins that give the appearance of six-over-one windows.



Photo 31: House, Addition Detail, Southwest Oblique.

A one-story, two-bay, basement-entry addition extends from the west elevation, directly north of the enclosed porch (Photo 32). Clad in stretcher-bond brick veneer, the addition is topped by a low-pitched, front-gabled roof that is sheathed in asphalt shingles. A single-leaf storm door sits in the southern bay of the west elevation and leads down a set of steps to single-leaf, wood basement door. A large exterior-end, brick chimney sits on the northern end of the addition's west elevation. Additional fenestration includes single-light, fixed, wood windows and a metal jalousie window.



Photo 32: House, Addition Detail, West Elevation.

A one-and-a-half-story, two-bay addition extends from the northwest corner of the resource (Photo 33). Featuring the same materials as the main block, the addition is topped by an asymmetrical gabled roof. Two interior-sloped, coursed, brick chimneys with corbeled caps pierce the roofline, one on each slope. A front-gabled dormer also sits on the northern slope and features a one-over-one, double-hung sash, vinyl window. Additional fenestration includes one-over-one, double-hung-sash, vinyl windows; the windows on the north and south elevations are flanked by vinyl, fixed, louvered shutters while the windows on the west elevation are not.



Photo 33: House, Northwest Oblique.

Eight secondary resources are associated with the dwelling, all of which are concentrated near the northwest corner of the lot. A circa-1945, one-and-a-half-story, one-bay, barn is located to the southwest of the primary resource (Photo 34, p. 56). The first of these resources, a circa-1945 barn, is clad in weatherboard and is topped gambrel roof sheathed in v-crimp metal. This resource features wood windows; most of which have either damaged or missing sashes, making it difficult to determine how they were originally hung. The window in the gable end appears to have originally been a four-light, awning window. Large sliding doors are located on the primary (northeast) elevation. Two lean-to additions line the barn's southeast and northwest elevations. Built atop concrete-block-pier foundations, the additions are clad in weatherboard and topped by shed roofs sheathed in v-crimp metal with exposed rafter tails. A third lean-to addition spans the southwest elevation and is supported by round wooden posts but it has partially collapsed.



Photo 34: Barn, East Oblique.

A second barn, situated slightly northwest of the previously described barn, is a circa-1945, one-and-a-half-story structure constructed around 1945 (Photo 35). The frame building is clad in weatherboard and is topped by gambrel roof sheathed in v-crimp that features a hay-hood on the east elevation. A central aisle is covered by a sliding wood door on the primary (east) elevation. Two lean-to additions line the north and south elevations. The addition on the north features on large open bay while the addition to the south features three smaller bays. Both additions are composed of the same materials as the barn. A full-width addition spans the rear (west) elevation. Featuring the same materials as the barn, this addition is topped by a shed roof that is pierced by a large, cylindrical silo composed of structural terra-cotta blocks.



Photo 35: Barn, Northeast Oblique.

A circa-1945, one-story, one-bay, garage is located to the west of the primary resource (Photo 36). Built on a foundation clad in brick veneer, the garage is clad in vinyl siding. A front-gabled roof sheathed in asphalt shingles covers the resource and features a hipped-pent roof on the east elevation. An overhead, metal garage door opens on the primary (east) elevation beneath the pent roof. A single-leaf door opening is located on the southern elevation; however, it has been boarded over with a single sheet of plywood.



Photo 36: Garage, Northeast Oblique.

A circa-1935, one-story, one-bay, shed sits to the west of the primary resource immediately to the west of the garage (Photo 37). Clad in weatherboard siding, the shed is topped by a side-gabled roof with exposed rafter tails; the roof is sheathed in v-crimp metal. An open bay is located on the primary (south) elevation. A small poured-concrete pad leads to the bay.



Photo 37: Shed, Southeast Oblique.

A circa-1945, one-story, five-bay, machine shed sits to the northwest of the primary resource (Photo 38). The wood-framed building is clad in weatherboard siding and topped by shed roof sheathed in v-crimp metal. The two eastern-most bays and the western-most bay on the primary (southern) elevation are enclosed, while the two central bays are open. The western-most bay is accessed through a canopy-style, wood-and-glass garage door, while the two eastern enclosed bays are accessed through a wood-and-glass, single-leaf door and a single-leaf, solid, wood door. A three-bay addition extends from the shed's west elevation. Featuring the same materials as the main shed, it features a saltbox roof and a single-leaf door centered on the southern elevation.



Photo 38: Machine Shed, South Elevation.

A circa-1950, one-story, nine-bay, loafing shed (a barn or shed in a pasture or paddock that provides shelter for free-ranging horses or cattle) sits to the northwest of the primary resource (Photo 39). The wood-framed building is clad in corrugated metal siding and topped by a shed roof sheathed in v-crimp metal. All of the bays on the primary (southern) elevation are open.



Photo 39: Loafing Shed, Southeast Oblique.

A circa-1950, one-story, one-bay, outbuilding sits to the west of the primary resource (Photo 40). The lower two-thirds of the building is composed of a ventilated brick wall. The remaining one-third of the building is exposed, leaving the square, wood framing visible. A shed roof tops the building sheathed in v-crimp metal. A metal gate opens in the primary (south) elevation.



Photo 40: Outbuilding, Southeast Oblique.

The foundation remains of a demolished outbuilding sit to the west of the primary resource. The outbuilding, which appears on 2014 aerial images, was a rectangular building about the same size as the loafing shed. However, the 2014 images showed it to be in ruinous condition with large sections of its roof cladding missing and was demolished between 2014 and 2015 (Photo 41).



Photo 41: Foundation Remains, Looking North.

Historic Context

The two-story dwelling at 8290 N.C. 127 Highway occupies a 7.37-acre tract, which was part of a larger tract of land subdivided out of the estate of David T. Johnson following his death in 1930 and conveyed to his daughter, Mary Johnson Coones.⁵⁷

More specifically, it comprised Track 3 in a platted subdivision of D. T. Johnson's estate as shown in a 1995 plat map of the same property (Figure 27, p. 61).

The 8290 N.C. 127 Highway property's associated dwelling is believed to have been erected in 1941, according to Alexander County tax records. The dwelling does appear to be extant on the 1947 aerial view (Figure 26).

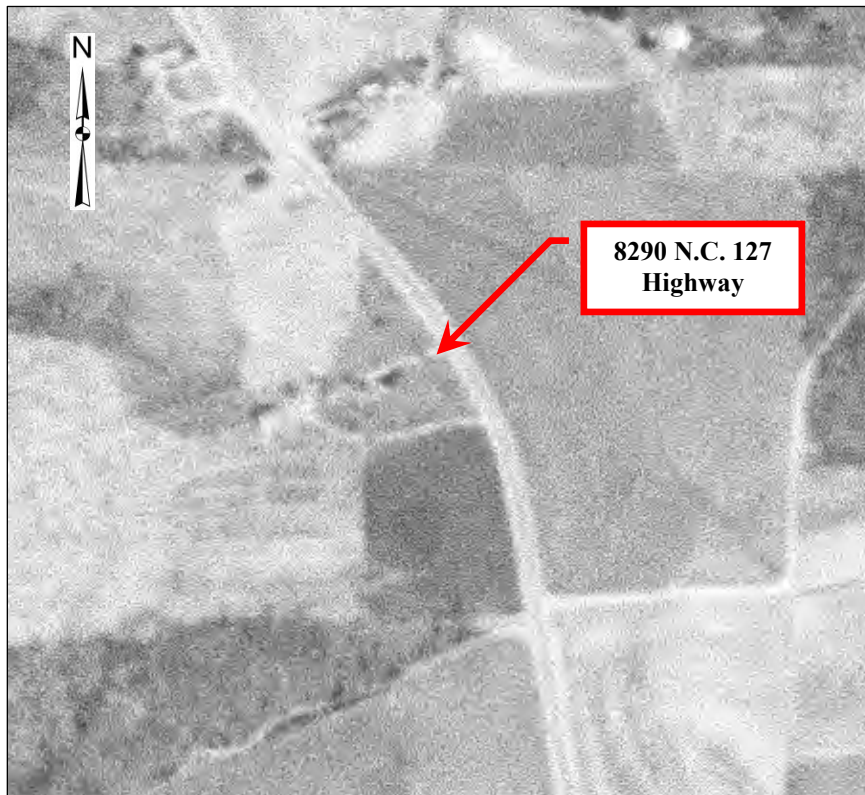


Figure 26: 1947 Aerial View of 8290 N.C. 127 Highway.⁵⁸

Mary Johnson Coonse and her husband, Perry R. Coonse, lived on the property until 1997 when Perry Coonse, a widower, conveyed a quit claim deed on the 7.37-acre property to the current owner, his daughter, Betty Sue Coonse.⁵⁹

⁵⁷ ACDB 27:56.

⁵⁸ USGS 1947.

⁵⁹ ACDB 393:2318.

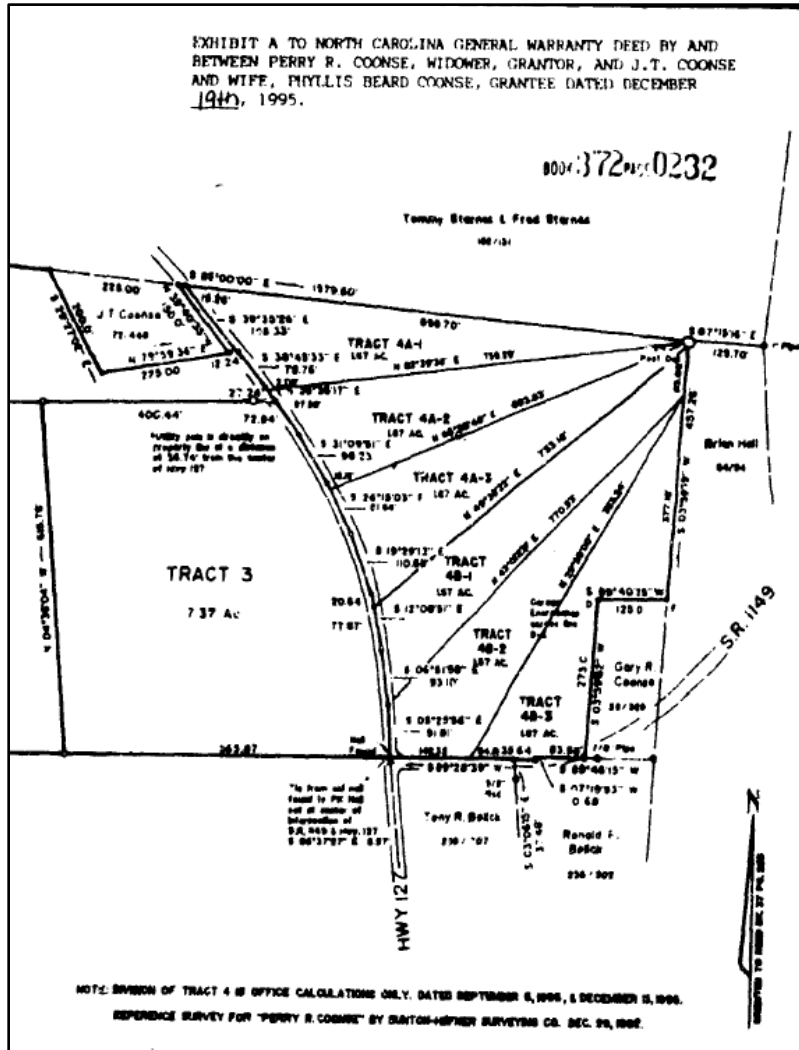


Figure 27: 1995 Plat Map of the 8290 N.C. 127 Highway Property (Tract 3).

Evaluation

The primary resource is a one-and-a-half-story, three-bay, single-family dwelling built around 1945 in the Colonial Revival style with a Cape Cod form. Access to the building’s interior was not permitted during the most recent site visit. The Cape Cod form was common in post-World War II residential construction and could incorporate a range of styles and materials. Similar examples from the general area are the House at 00 9th Street NW and the House at 1578 12th Street Drive NW. These examples demonstrate how the form can vary in terms of style and appearance of examples from the general area (Photo 42–Photo 43, p. 62).



Photo 42: House at 00 9th Street NW, Hickory, NC.



Photo 43: 1578 12th Street Drive NW, Hickory, NC.

To be eligible for the NRHP as a rural historic landscape, a resource must have three qualities: 1) the characteristics must have served or resulted from an important event, activity, or theme in agricultural development as recognized by the historic contexts for the area; 2) the property must have had a direct involvement in the significant events or activities by contributing to the area's economy, productivity, or identity as an agricultural community; and 3) through historic landscape characteristics, the property must cogently reflect the period of time in which the important events took place.⁶⁰

⁶⁰ McClelland et. al 1999.

The property at 8029 N.C. 127 Highway is a fairly representative example of a early- to mid-twentieth century, rural historic landscape in Alexander County. However, while the primary dwelling appears to be in generally stable condition, it has undergone a number of changes and modifications over time, including, for example, several additions, the application of vinyl siding, and the replacement of original windows with vinyl units. It retains sufficient character-defining features to reflect its original Colonial Revival-style design, but is not a particular unique or distinctive example of what is a fairly ubiquitous house style and form in this area. This resource maintains adequate integrity of location and, to some degree, feeling, and setting, but the loss of original fabric and the deterioration of some of the outbuildings have had a cumulative and negative impact on the property's integrity with regard to materials, design, workmanship. For these reasons is recommended not eligible for listing on the NRHP under Criterion A.

For a resource to be considered eligible under Criterion B, it must be associated with a person who is "individually significant within a historic context" and has "gained importance within his or her profession or group."⁶¹ The people that owned or occupied this farm are not known to have made significant contributions to area history and as a result this resource is recommended not eligible under Criterion B.

Criterion C as outlined by NPS pertains to "properties significant for their physical design or construction, including such elements as architecture, landscape architecture, engineering, and artwork." For a resource to be eligible for the NRHP under Criterion C, it must "Embody distinctive characteristics of a type, period, or method of construction, represent the work of a master, possess high artistic value, or represent a significant and distinguishable entity whose components may lack individual distinction." Though the dwelling at 8029 N.C. 127 Highway still reflects discernable, character-defining features of its Colonial Revival design, it is not a particularly unique or distinctive example. Moreover, its integrity of design has been diminished by the application of vinyl siding and the replacement of original windows. For these reasons, it is recommended not eligible for the NRHP under Criterion C.

For a property to be eligible under Criterion D, it must meet two requirements: 1) the property must have, or have had, information to contribute to our understanding of human history or prehistory, and 2) the information must be considered significant.⁶² The farm complex at 8029 N.C. 127 Highway is not likely to yield any new information pertaining to the history of building design or technology. Therefore, this resource is recommended not eligible under Criterion D.

In sum, the property at 8029 N.C. 127 Highway **is recommended not eligible for listing in the NRHP under any Criteria.**

⁶¹ NPS 2015

⁶² Ibid.

AX0069: House at 93 Telephone Exchange Road

Date of Construction: Circa 1965

Modifications: N/A.

93 Telephone Exchange Road

Alexander County, North Carolina

PIN: 3716-63-5532

Eligibility Recommendation: Eligible



Architectural Description

The House at 93 Telephone Exchange Road is located on the north side of Telephone Exchange Road in a sparsely-populated, rural area of Alexander County, North Carolina. Built on a rectangular lot measuring approximately 25,000 square feet, the resource is immediately surrounded by a manicured grass lawn, mature deciduous tree, and medium-sized landscaped shrubbery. Set approximately 30 feet back from the road, the primary resource is centered on the lot (Figure 28, p. 65 and Figure 29, p. 66). A poured-concrete driveway runs from Telephone Exchange Road and runs along the western side of the lot before terminating beneath a carport attached to the house's west elevation. A small wood ramp connects a stoop set on the southern elevation to the driveway. A circa-1965 well cap sits to the west of the primary resource. The resource is surrounded on all sides by other residences. General access to the property was granted by the current occupant, but interior access was not obtained.

The House at 93 Telephone Exchange Road is a one-story, one-bay, single-family dwelling built around 1965 in the Contemporary style (Photo 44, p. 67).⁶³ Constructed on a continuous foundation that is likely a concrete slab, the house's structural system was not visible, but is clad in a stretcher-bond brick veneer. A low-pitched, front-gabled roof with deep-overhanging eaves, sheathed in asphalt shingles, tops the dwelling. It features large exposed rafters and board-and-batten soffits. The roof is pierced by a broad and low, interior-slope, brick chimney on the eastern side of the ridgeline. The western side of the roof continues to slope beyond its connection with the house and extends over the poured-concrete driveway to form an attached carport (Photo 45, p. 67). The western edge of the carport is supported by square, wooden posts filled with wooden lattice and set on a brick-veneer-clad wall.

⁶³ McAlester 2013:629.



Figure 28: Location and Parcel Boundaries of the House at 93 Telephone Exchange Road (AX0069).⁶⁴

⁶⁴ Esri 2017.

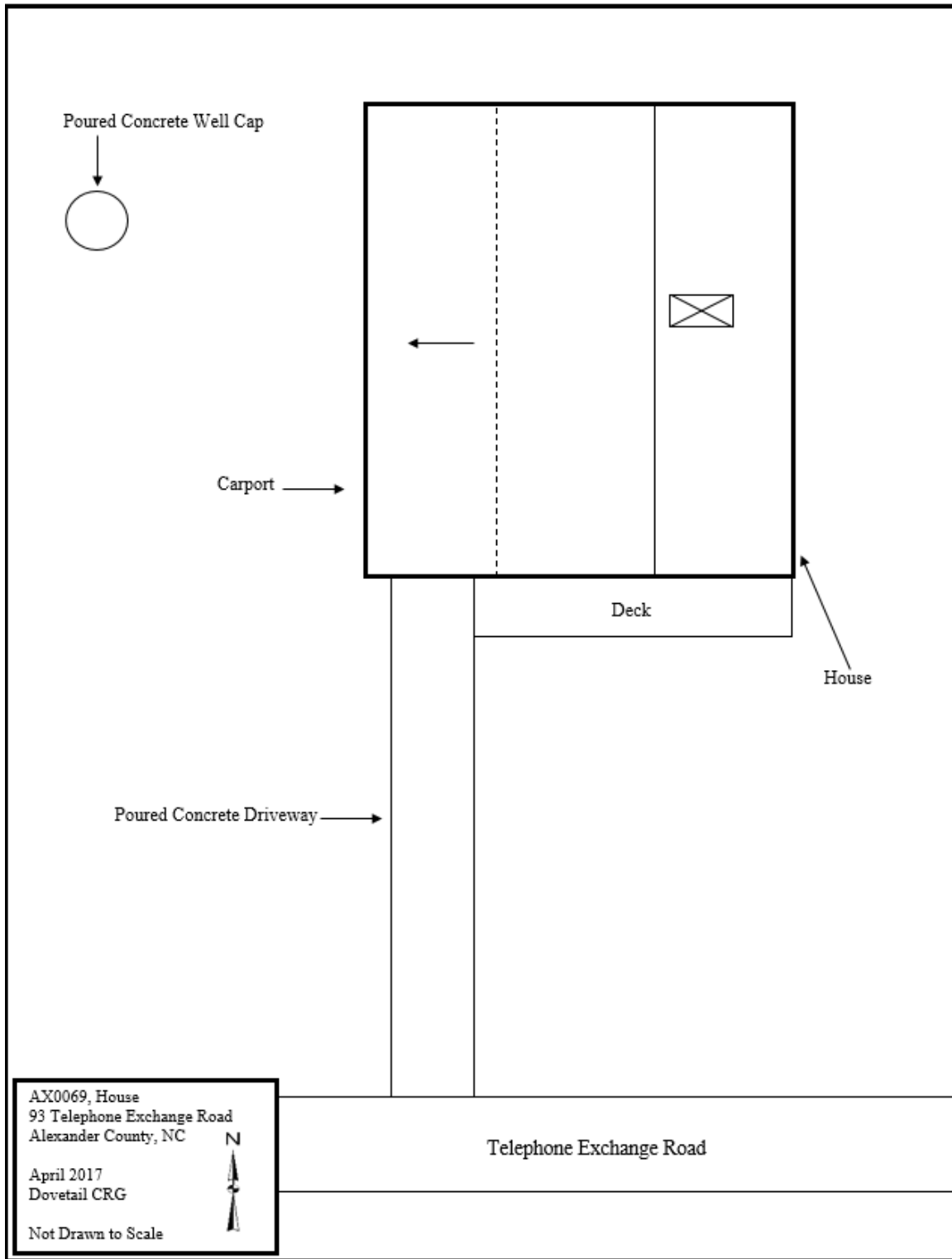


Figure 29: Site Plan for the House at 93 Telephone Exchange Road (AX0069).



Photo 44: House, South Elevation.



Photo 45: House, Carport Detail, Southwest Oblique.

The primary entrance—a single-leaf, wooden door with three vertically-stacked, paneled, square rosette details and a storm door—is centered on the south elevation (Photo 46). The primary entrance is set in a large-single bay composed of the door and five large, fixed-light, metal windows with two to the east of the door and three to the west. Ten additional single-light, fixed-metal, trapezoidal windows sit atop the door and other windows, spanning the entire southern gable end. A stoop clad in a stretcher-bond veneer with a poured-concrete deck sits in front of the western half of the southern elevation. One poured-concrete step leads from the driveway to the stoop but a wood ramp has been constructed over the step and runs along the house’s west elevation beneath the carport.



Photo 46: House, Window Detail, South Elevation.

Additional fenestration on the remaining elevations of the house includes two-and-three-light, metal-framed, awning windows. A secondary entrance, located to the west on the rear (north) elevation of the resource, is filled with a double-leaf, flush, metal door (Photo 47, p. 69). An entry to the basement is also located on the north elevation. A set of poured concrete stairs lead down approximately five feet to the single-leaf, wood door topped by three fixed lights.



Photo 47: House, North Elevation.

There is only one secondary resource located at 93 Telegraph Exchange Road: a circa-1965 well cap located west of the dwelling (Photo 48, p. 69). It is cylindrical in shape and constructed of poured concrete. This well is the only secondary resource associated with the resource and is set where the edge of the manicured grass lawn meets with a band of landscaped shrubbery.



Photo 48: Well Cap, Looking North.

Historic Context

The dwelling located at 93 Telephone Exchange Road (AX0069) occupies a parcel approximately 0.57 acres in size that began as part of an 18-acre tract acquired by E. H. Spencer and William L. Spencer in 1928.⁶⁵

It is unclear if the two men acquired the property as a development opportunity. If so, then the economic upheaval of the Great Depression no doubt stalled those plans. In fact, a review of period maps and aerials confirms that the area, like much of Alexander County, remained a largely undeveloped rural landscape until the mid-twentieth century. The 1950 aerial shown in Figure 30 below shows a landscape of open fields with a single dwelling and several associated outbuildings visible on the northeast corner of NC 127 Highway and present-day Telephone Exchange Road.



Figure 30: 1950 Aerial View of 93 Telephone Exchange Road Location.⁶⁶

⁶⁵ ACDB 35:239.

⁶⁶ USGS 1950.

In 1935, E. H. Spencer sold his half-interest in the property to co-owner W. L. Spencer. The latter retained ownership until the mid-1950s, at which time he began selling portions, including a 1.25-acre section along the N.C 127 Highway in 1954 to Grover and Tracy Bolick and another 2.0-acre parcel to Billy H. and Eva I. Davis in 1955. Two years later, in 1957, he sold the remaining 15.75 acres to a man named H. E. Fritts.⁶⁷

The new owner appears to have acquired the tract as a development opportunity. Not long after the purchase, a plat map entitled, “E. H. SPENCER RRO SUB.DIV., ALEXANDER COUNTY N.C.,” was recorded in Alexander County’s registry of deeds (Figure 31, p. 71).⁶⁸ It is unclear from historical records why E. H. Spencer’s name was still attached to the property as he had purportedly conveyed his interest over two decades earlier. It is possible the plat was simply an updated version of similar plans that E. H. and W. L. Spencer had previously commissioned.

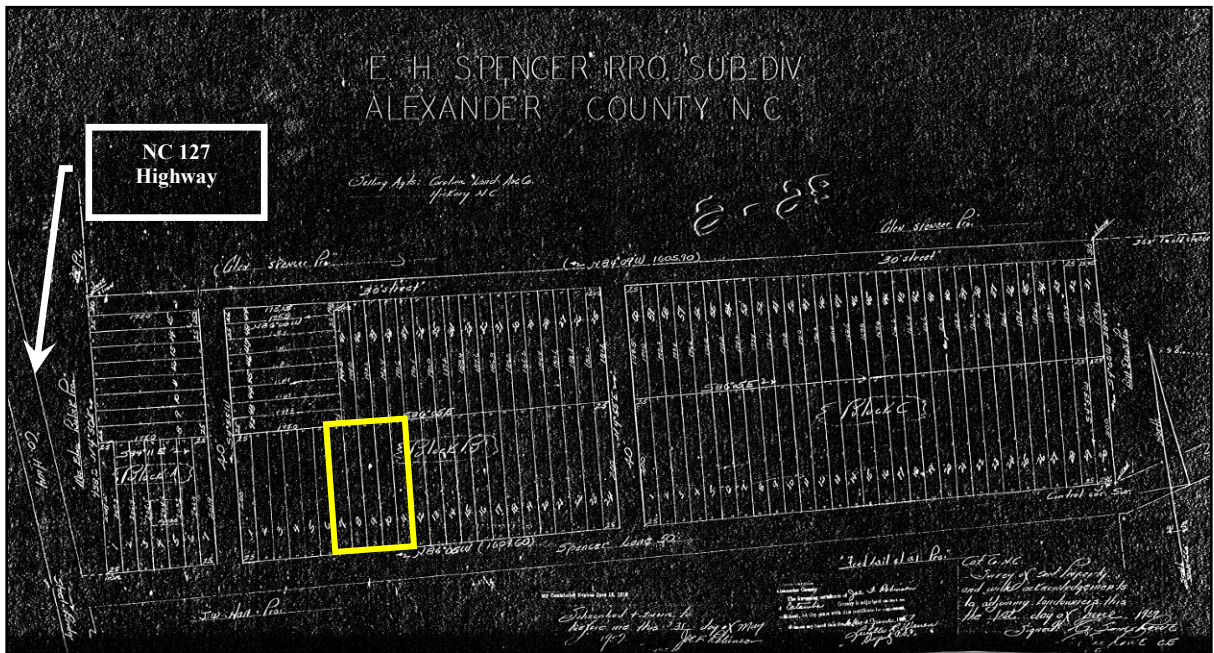


Figure 31: 1957 Plat Map of the E. H. Spencer Residential Subdivision.⁶⁹ Note: The present-day 93 Telephone Exchange Road parcel (lots 7–11) are outlined in yellow.

As shown on the map, the 18-acre tract was subdivided into three block sections labeled A, B, and C. Individual lots within each block were 25 feet in width and ranged between 125 and 200-plus feet in depth. Present-day Telephone Exchange Road, labeled as Spencer Lane on the plat, served as the southern boundary. The map also noted that the Carolina Land Company of Hickory, North Carolina, were the planned development’s designated selling

⁶⁷ ACDB 36:293, 48:445, 49:148, 53:536.

⁶⁸ ACPB 2:228.

⁶⁹ Ibid.

agent. Lots were conveyed with certain deed restrictions attached, specifically that any newly constructed homes must contain a minimum of 850 square feet of floor space, excluding porches, breezeways, and garages.⁷⁰ Such subdivisions were not uncommon during this period. Following World War II, as it did in most parts of the country, the return of American soldiers created a growing demand for new housing and spurred a building boom in Alexander County.⁷¹

A review of Alexander County deed indexes revealed nearly 100 separate real estate transactions made by Fritz and his wife between the years 1956 and 1959, including not just lots from the E. H. Spencer development, but several other subdivisions in the area as well.

The present-day 93 Telephone Exchange Road parcel (Lots 7–11 on the plat map) was first sold in 1957. It was sold again in 1964 to Plumer L. and Ida Y. Richey who then re-conveyed a month later to Floyd B. Newton and his wife, Naomi.⁷² The current dwelling at 93 Telephone Exchange Road was constructed shortly after this last conveyance for it appears on a 1966 aerial photograph along with nearly a dozen other new homes (Figure 32). The Newtons built the home and remain the current residents.

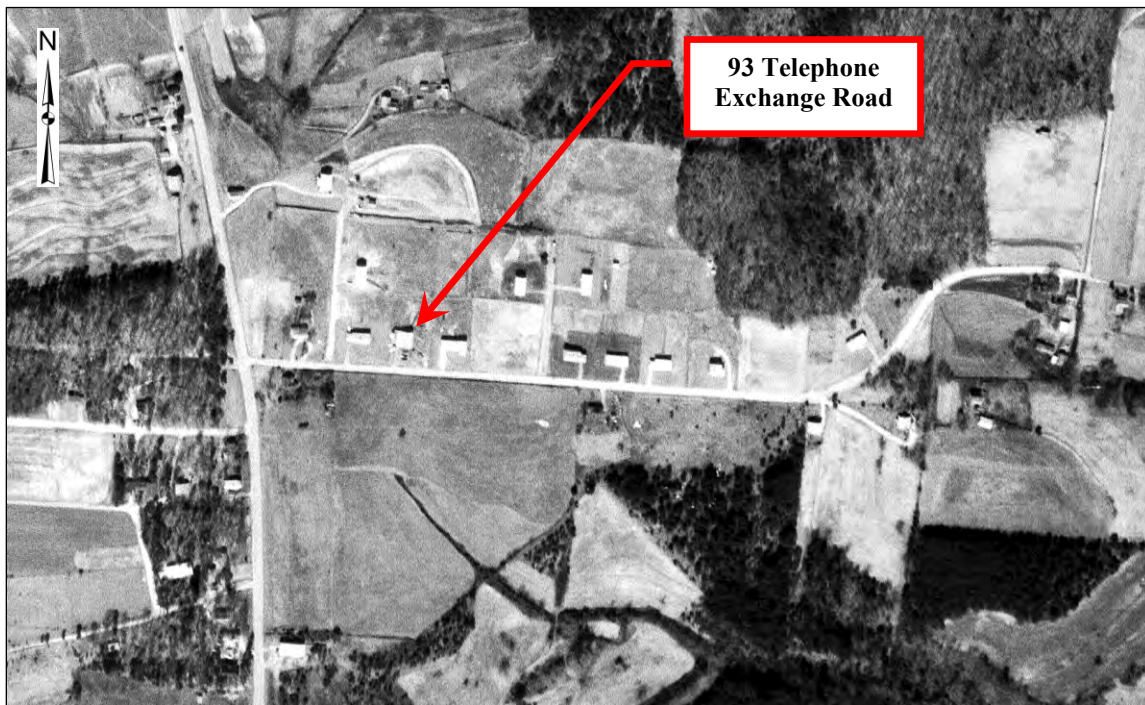


Figure 32: 1966 Aerial View of 93 Telephone Exchange Road.⁷³

⁷⁰ ACDB 74:405.

⁷¹ Acme Preservation Services 2015:48.

⁷² ACDB 53:605, 57:136, 74:228, 74:405.

⁷³ USGS 1966.

Evaluation

The dwelling at 93 Telephone Exchange Road exhibits many of the Contemporary style's key features, including a low-pitched, asymmetrical, gable roof with broad, overhanging eaves, exposed roof beams, triangular configuration of windows below the roof line on the gable front.⁷⁴ The neighborhood's other homes comprise a mix of Ranch-style, split-level, and bungalows dating between the mid-1950s and the 1970s.

A number of similarly-styled homes dating from this period can be found in the general area, but almost exclusively in or near major town and urban settings like the city of Hickory, in Catawba County to the south. The three homes shown in Photo 49 through Photo 51 below (pp. 73–74) are representative examples. Contemporary-style elements and other modernist-inspired design features were applied to a variety of house forms. The 1950 dwelling shown in Photo 51 (p. 73), known as the James and Elizabeth Houston House (24 9th Avenue NW in Hickory), is an example of the Contemporary style incorporated into a split-level form.⁷⁵ The style was also employed in churches, industrial and commercial buildings.



Photo 49: Contemporary-Style House at 1539 16th Avenue Circle NW, Hickory, North Carolina.

⁷⁴ McAlester 2013:629

⁷⁵ Acme Preservation Services 2015:49.



Photo 50: 556 11th Avenue Circle NW, Timberline Terrace (CT1460), Hickory, North Carolina.



Photo 51: James and Elizabeth Houston House, 24 9th Avenue NW, in Hickory, North Carolina.

The House at 93 Telephone Exchange Road remains in generally good condition and adequately retains integrity of location, design, setting, materials, workmanship, feeling, and association.

In order to be considered eligible for the NRHP under Criterion A, a resource “must be associated with one or more events important in the defined historic context;” the associated can be one (or both) of two types of events: 1) a specific event marking an important moment in American prehistory or history, and 2) a pattern of events or a historic trend that made a significant contribution to the development of a community, a state, of the nation.⁷⁶ The property at 93 Telephone Exchange Road bears no known associations with any significant events or historic trends. As such, it is recommended not eligible for the NRHP under Criterion A.

For a resource to be considered eligible under Criterion B, it must be associated with a person who is “individually significant within a historic context” and has “gained importance within his or her profession or group.”⁷⁷ None of the former residents of dwelling at 93 Telephone Exchange Road are known to have made significant contributions to the area’s history and, as a result, the property is recommended not eligible under Criterion B.

Criterion C as outlined by NPS pertains to “properties significant for their physical design or construction, including such elements as architecture, landscape architecture, engineering, and artwork.” For a resource to be eligible for the NRHP under Criterion C, it must “Embody distinctive characteristics of a type, period, or method of construction, represent the work of a master, possess high artistic value, or represent a significant and distinguishable entity whose components may lack individual distinction.” This resource is the only Contemporary-styled dwelling in the E. H. Spencer subdivision, but also, based on a general survey made during the most recent field visit, it appears to be one of the few extant examples in the rural environs of Alexander County as a whole. While a number of examples can be found regionally, many of these are located in urban and town centers like the city of Hickory to the south. The House at 93 Telephone Exchange Road is a unique instance of the Contemporary style’s application in the rural setting of Alexander County during the post-World War II housing boom. For these reasons, it is recommended eligible under Criterion C.

For a property to be eligible under Criterion D, it must meet two requirements: 1) the property must have, or have had, information to contribute to our understanding of human history or prehistory, and 2) the information must be considered significant.⁷⁸ The property at 93 Telephone Exchange Road is not likely to yield any new information pertaining to the history of building design or technology. Therefore, this resource is recommended not eligible under Criterion D.

In sum, the House 93 Telephone Exchange Road is **recommended eligible for listing in the NRHP under Criterion C.**

⁷⁶ NPS 2015.

⁷⁷ Ibid.

⁷⁸ Ibid.



Figure 33: Proposed NRHP Boundaries for the House at 93 Telegraph Exchange Road (AX0069).⁷⁹

⁷⁹ Esri 2017.

**AX0070: Mount Bethel United
Methodist Church**

Date of Construction: Circa 1962
Modifications: Circa 1990, circa. 2000

9042 N.C. Highway 127
Alexander County, North Carolina
PIN: 3716-52-9014/3716-42-9197
Eligibility Recommendation: Not Eligible



Architectural Description

Mount Bethel United Methodist Church is located on the west side of N.C. Highway 127 in a moderately populated, semi-rural area of Alexander County, North Carolina. Built on an irregularly shaped lot measuring approximately 3.5 acres, the church is immediately surrounded by a manicured grass lawn (Figure 34, p. 78 and Figure 35, p. 79). Two paved-asphalt parking lots flank the resource, one to the north and one to the south. A gravel driveway runs from the western side of the northern parking lot and loops to the rear of the resource. A poured-concrete sidewalk runs east of the resource to connect the two parking lots to each other and to the church. An affiliated cemetery sits to the west of the primary resource. General access to the exterior of the property was granted by a church employee but interior access was not permitted.

The current church building was constructed around 1962 as a replacement for an earlier, front-gabled church that was located where the current education building is currently situated. The 1947, 1951, and 1966 historic aerials show that the building was rectangular in shape with two small front-gabled projections centered on the north and south elevations. It was demolished between 1966 and 1990.⁸⁰ The only building from this time period that survives is a one-and-a-half-story building reflective of the Colonial Revival style constructed as an addition to the original church between 1947 and 1951.⁸¹ The building is clad in a brick, stretcher-bond veneer and covered by a side gabled roof. A continuous shed-roofed dormer spans the west elevation. Entrances include a single-leaf door on the west elevation and a double-leaf door on the south elevation and eight-over-eight, double-hung sash, wood-framed windows. Within the gable ends are two wood-framed, multi-light fan windows. Around 1990, a two-story addition (discussed in detail on page 82) was attached to the east elevation.

⁸⁰ Nationwide Environmental Title Research, LLC (NETR) 1947, 1951, 1966.

⁸¹ NETR 1947, 1951.

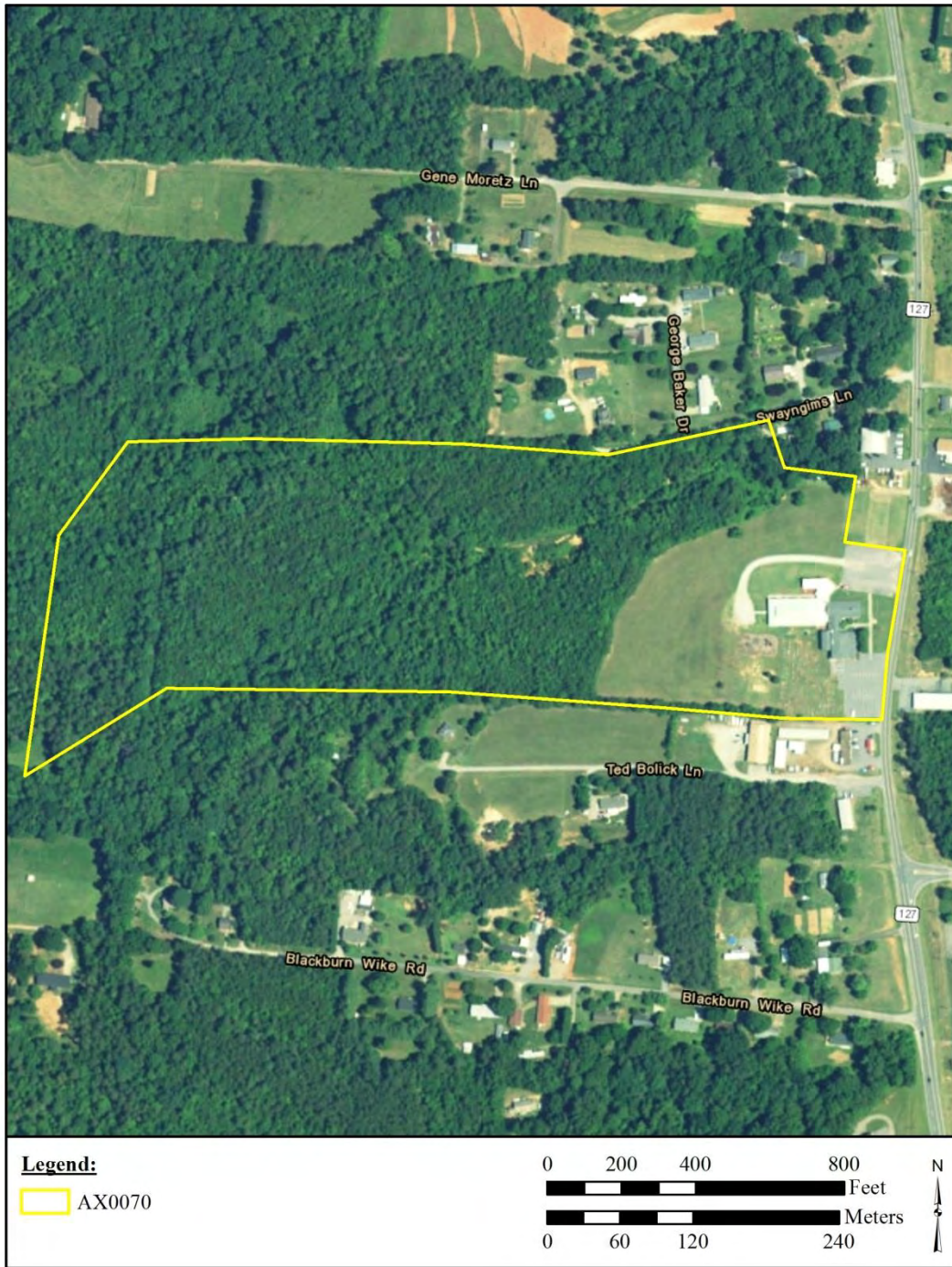


Figure 34: Location and Parcel Boundaries of the Mount Bethel United Methodist Church (AX0070).⁸²

⁸² Esri 2017.

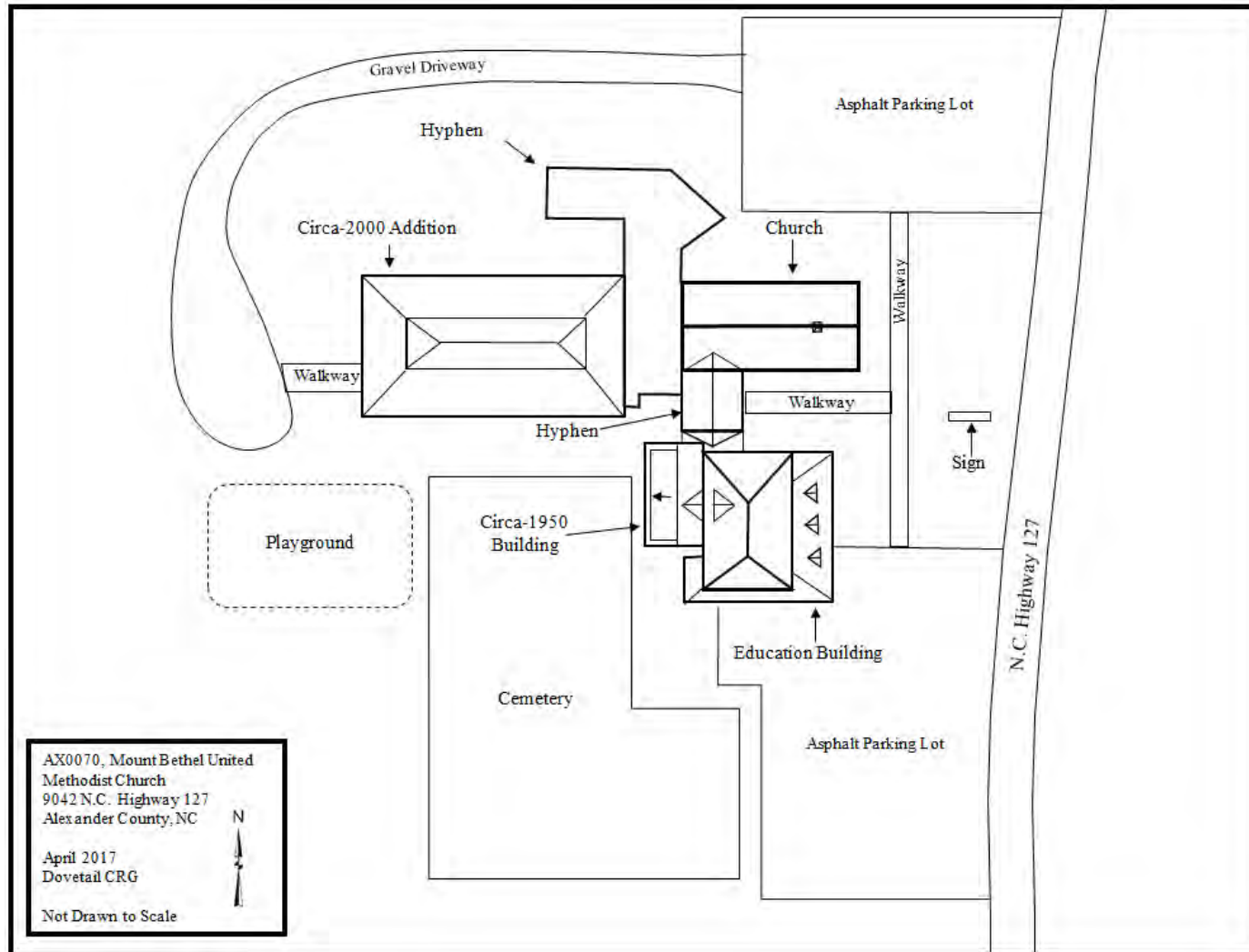


Figure 35: Site Plan for the Mount Bethel United Methodist Church (AX0070).

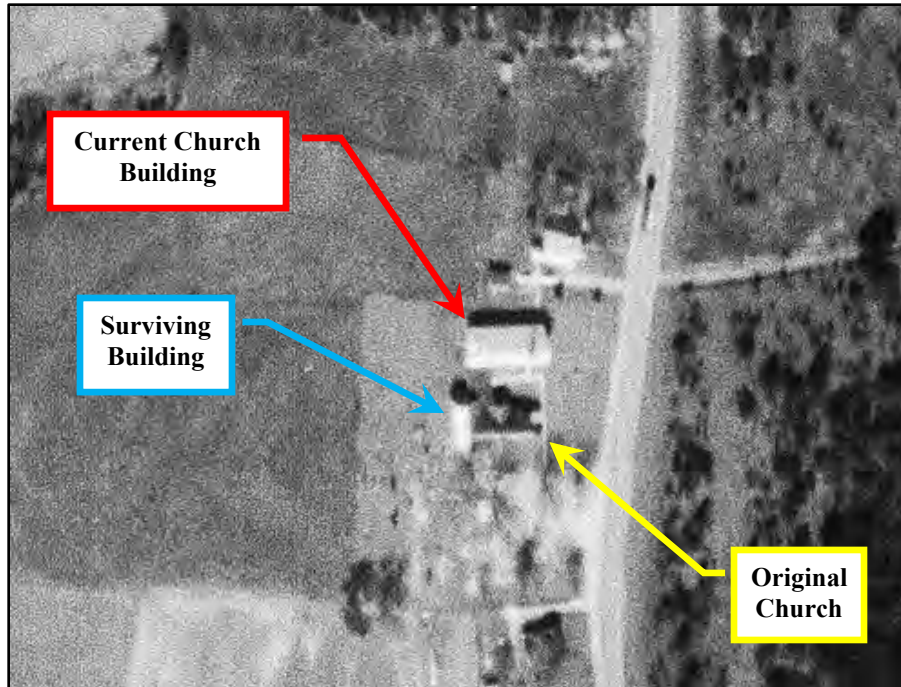


Figure 36: 1966 Aerial Showing the Current Church Building, Original Church, and Surviving Building.⁸³



Photo 52: Surviving Building from the Earlier Church Complex, Southwest Oblique.

⁸³ USGS 1966.

The church is a one-story, one-bay building built around 1962 with Contemporary-style attributes (Photo 53). Both the church's foundation and structural system are clad in a stretcher-bond, brick veneer. A front-gabled roof with deep-overhanging eaves and boxed soffit, sheathed in asphalt shingles, tops the church. A small, rectangular, fluted-concrete steeple sits on the ridgeline near the eastern end of the building and is topped by a slim metal cross. A gabled brick parapet is located on the west elevation and separates the main core of the church from the additions.

On the eastern elevation, which faces the road, the church features a large multi-light, fixed, wooden, stained-glass window (Photo 54, p. 82). On the other elevations fenestration includes multi-light, fixed, wooden windows; and single-light, fixed, wooden, stained-glass windows. Although they are not the church's primary entrance, several single-light, wood-and-stained-glass doors open on the north and south elevations.

Around 1990, the congregation constructed a two-story education building south of the church and connected the two buildings using a one-story, brick-clad hyphen. The east elevation of this side-gabled hyphen currently contains the church's primary entrance: a recessed double-leaf, metal-framed, glass door flanked by full-height sidelights (Photo 55, p. 82). The two-story, three-bay, circa-1990 education building extends off the previous addition's southern elevation (Photo 56, p. 83). Featuring the same materials as the main block, the education building is topped by a hipped roof sheathed in asphalt shingles. It features fixed, metal-framed, ribbon windows. A one-story addition extends off the education building's east elevation. Also featuring the same materials as the main building, it is topped by a hipped roof that wraps around the northern and southern elevations, forming a deep overhang that acts as an awning. Three front-gabled vents top the eastern slope of the addition's roof.



Photo 53: Mount Bethel United Methodist Church, Northeast Oblique.



Photo 54: Church, View of South Elevation.



Photo 55: Hyphen Between Church and Education Building, East Elevation Entry Detail.



Photo 56: Circa-1990 Education Building Addition, Northeast Oblique.

Around 2000, a one-story, five-bay building was constructed west of the church and connected to the original building with a one-story, irregularly shaped, flat-roofed hyphen (Photo 57 and Photo 58). Clad in brick-veneer, the addition is topped by a hipped roof sheathed in standing-seam metal. A hipped-roof clerestory is centered roof ridgeline and features 16 fixed, metal-framed windows running the full length. Two square metal vents with metal caps pierce the roofline in the clerestory. Other fenestration includes paired one-over-one, fixed, metal windows and single- and double-leaf, metal-and-glass, commercial style doors.



Photo 57: Hyphen for the Circa-2000 Addition, Northeast Oblique.



Photo 58: Circa 2000 Addition Detail, North Elevation.

There are three secondary resources associated with the Mount Bethel United Methodist Church: a playground, a sign, and a cemetery. The circa-2000 playground sits to the southwest of the most recent addition (Photo 59). It is composed of a wood-framed swing set, a metal-and-plastic funnel ball set, several sets of monkey bars, a free-standing plastic tube slide, and a large tower featuring a flat slide, spiral slide, and several metal climbing elements.



Photo 59: Playground, Looking West.

A circa-1990 sign sits to the west of the primary resource (Photo 60). Built on a brick foundation, the metal-framed sign features a backlit plastic board with shallow plastic trays that hold letters printed on plastic sheet.



Photo 60: Sign, Looking South.

A cemetery affiliated with the church sits to the southwest of the primary resource (Photo 61, p. 85). The cemetery has approximately 100 interments which are laid out in a grid pattern. The cemetery's earliest interment dates to 1885, with the majority of the burials date from the 1950s and 1960s. The cemetery appears to still be in active use by the church, with the most recent interments dating to 2015. A majority of the stones are made of granite or marble, some of which

feature footstones as well. The cemetery grounds are covered by manicured grass and do not currently feature any fences or boundaries.



Photo 61: Cemetery, Looking Southwest.

Historic Context

The Mount Bethel United Methodist Church was first organized in the late-nineteenth century. In a deed dated December 6, 1869 and registered in 1876, a 2.0-acre parcel is conveyed by Henry Payne and Anna Price to the trustees of Mount Bethel Methodist Church—A. P. Bohick [sic], J. A. Stearns, and J. W. Stearns. The parcel, described as lying on “the Upper and Middle Little Rivers, along Taylorsville Road” (NC 127 Highway), noted that “a Methodist Episcopal Church is now being erected called Mt. Bethel.”⁸⁴

The post-World War II years ushered in period of change for many congregations. Increasing population and suburbanization meant more members, which, in turn, spurred a need for expanding educational and social programs, as well as expanded and updated facilities.

The first major period of change for Mt. Bethel came in the early 1960s when the original late-nineteenth century church was replaced by a brand new facility. Completed in 1962, it featured a Contemporary-style design, an appropriate choice for a congregation looking towards its future. Sometime after 1966, the old church was razed, but a mid-twentieth century addition erected on the back of the original church was left in place and remains currently extant.

Around 1990, the congregation ushered in a second, even more ambitious phase of expansion, beginning with a two-story, multi-bay addition on the church’s south elevation, followed in 2000, by a second addition and a new playground.

⁸⁴ ACDB D:127.

Next, around 2005, another new, one-story, multi-bay addition was appended to the west side of the circa-2000 addition.

As was the case for many thriving groups, the later decades of the twentieth century saw expanding congregations and, in response, similarly expanding educational programs and social services. These trends, in turn, spurred physical expansions and improvements of their existing facilities, often achieved through new additions and stand-alone ancillary buildings.

This phase not only involved building and facility expansions, but real estate as well. In 1998, the church expanded its landholdings by acquiring two adjoining tracts, totaling 31.1 acres (29.6 acres and 1.25 acres). The grantor, Floyd Wesley Spencer made the conveyance in trust, to help ensure the land would be “kept, maintained, or disposed of, for the benefit of the United Methodist Church.”⁸⁵

The series of historic aerial photographs offer some visual perspective on the physical evolution of the Methodist Church during the second half of the twentieth century (Figure 37–Figure 40, pp. 86–88).

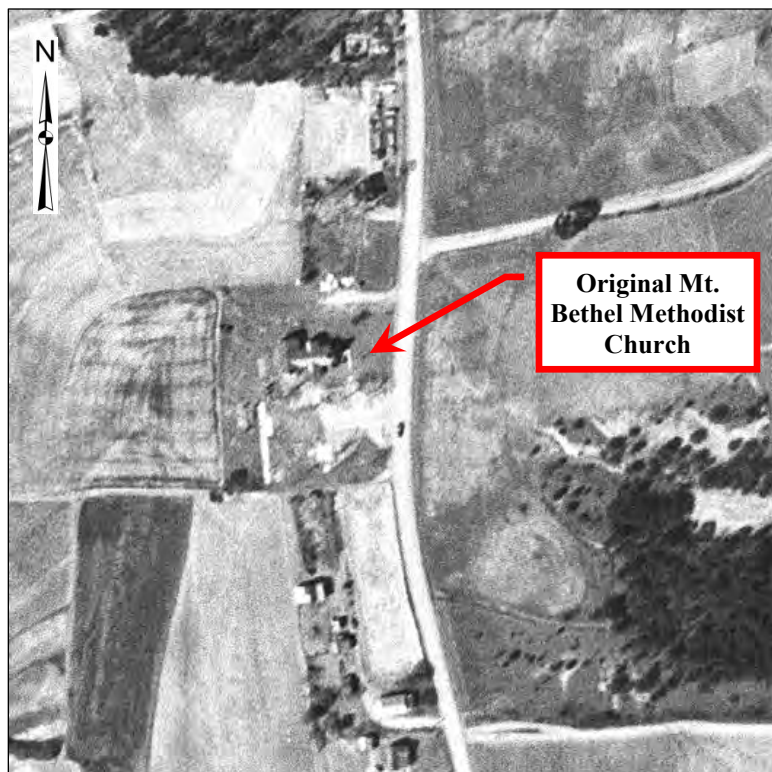


Figure 37: 1951 Aerial View of Mt. Bethel United Methodist Church and Cemetery.

⁸⁵ ACDB 388:544.



Figure 38: 1966 Aerial View of Mt. Bethel United Methodist Church.⁸⁶



Figure 39: 2004 Aerial View of Mt. Bethel United Methodist Church and Cemetery.⁸⁷

⁸⁶ USGS 1966.

⁸⁷ Google Earth 2004.



Figure 40: 2016 Aerial View of Mt. Bethel United Methodist Church.⁸⁸

Evaluation

The Mt. Bethel United Methodist Church remains in generally good condition and adequately retains integrity of location, design, setting, materials, workmanship, feeling, and association.

It is a representative example of the Contemporary style, which became increasingly more prevalent in new church design beginning around the mid-twentieth century. The images below depict other Contemporary-styled church facilities in the area (Photo 62–Photo 64, p. 89–90). It embraces key characteristics and themes of the Contemporary style and modernist-influenced design, including the low-pitched roof overhanging eaves, triangular configuration of windows beneath the gable peak, and broad expanse of uninterrupted wall space.⁸⁹

In order to be considered eligible for the NRHP under Criterion A, a resource “must be associated with one or more events important in the defined historic context;” the associated can be one (or both) of two types of events: 1) a specific event marking an important moment in American prehistory or history and 2) a pattern of events or a historic trend that made a significant contribution to the development of a community, a state, of the nation.⁹⁰ The property at Mt. Bethel United Methodist Church bears no known associations with any particularly significant events or historic trends. As such, it is recommended not eligible for the NRHP under Criterion A.

⁸⁸ Google Earth 2016.

⁸⁹ McAlester 2013: 629.

⁹⁰ NPS 2015.



Photo 62: Church of Jesus Christ of Latter Day Saints (CT1418), 4059 N. Center Street, Hickory, North Carolina.



Photo 63: Highland Methodist Church (CT1367), 1020 12th Street Place NE, Hickory, North Carolina.



Photo 64: First Church of God Hickory (CT1442), 306 14th Street SW, Hickory, North Carolina.

For a resource to be considered eligible under Criterion B, it must be associated with a person who is “individually significant within a historic context” and has “gained importance within his or her profession or group.”⁹¹ None of the people who have been closely associated with Mt. Bethel United Methodist Church are known to have made any particularly significant contributions to the area’s history and, as a result, the property is recommended not eligible under Criterion B.

Criterion C as outlined by NPS pertains to “properties significant for their physical design or construction, including such elements as architecture, landscape architecture, engineering, and artwork.” For a resource to be eligible for the NRHP under Criterion C, it must “Embody distinctive characteristics of a type, period, or method of construction, represent the work of a master, possess high artistic value, or represent a significant and distinguishable entity whose components may lack individual distinction.” Though the Mt. Bethel United Methodist Church still clearly reflects its original Contemporary-style design that inspired it, it is not a particularly distinctive or unique example. Consequently, it is recommended not eligible for listing on the NRHP under Criterion C.

For a property to be eligible under Criterion D, it must meet two requirements: 1) the property must have, or have had, information to contribute to our understanding of human history or

⁹¹ Ibid.

prehistory, and 2) the information must be considered significant.⁹² The property at Mt. Bethel United Methodist Church is not likely to yield any new information pertaining to the history of building design or technology. Therefore, this resource is recommended not eligible for listing on the NRHP under Criterion D.

In sum, the Mt. Bethel United Methodist Church is **recommended not eligible for listing in the NRHP under any Criteria.**

⁹² Ibid.

AX0071: Shiloh Lutheran Church

Date of Construction: 1951
Modifications: Circa 1965

1011 Shiloh Church Road
Alexander County, North Carolina
PIN: 3715-59-4241/3715-59-2262
Eligibility Recommendation: Not Eligible



Architectural Description

The Shiloh Lutheran Church is located south of the intersection of Hubbard Road and Shiloh Church Road in a moderately-populated, semi-rural area of Alexander County, North Carolina. Built on a hilly, triangular-shaped lot measuring approximately 2 acres, the resource is immediately surrounded by a manicured grass lawn and paved-asphalt parking lots (Figure 41, p. 93 and Figure 42, p. 94). A paved-asphalt driveway runs from Shiloh Church Road to a parking lot to the south of the primary resource. The parking lot passes north beneath a covered walkway connecting the primary resource with a circa-1995 church hall and then widens into a second parking lot encompassing the entire western part of the lot. This second parking can be accessed from Hubbard Road. This resource is bounded by Hubbard Road to the northwest and Shiloh Church Road to the east, with residences on the other sides. A circa-2005 carport and a circa-1990 playground are located to the south of the church hall.

The primary resource is a one-and-a-half-story, three-bay church constructed in 1951 in the Colonial Revival style on a linear plan (Photo 65, p. 95). Constructed atop an English basement clad in brick veneer, the church's structural system is covered by a stretcher-bond brick veneer. The veneer features a decorative course between the English basement and the rest of the building known as a soldier row. Decorative buttresses line the building, flanking each window on the southeast and northwest elevations as well as the porch on the primary (northeast) elevation. A front-gabled roof sheathed in asphalt shingles tops the church. A rectangular steeple clad in vinyl siding rises from the northeast ridgeline of the roof and features a copper pyramidal roof with a slim cross at its apex. An exterior-end, brick chimney sits on the church's southwest elevation.

The primary entrance is centered on the northeast elevation and is filled with a double-leaf, four-paneled, wood door (Photo 66, p. 95). Each leaf features a four-light fanlight, and the entire door is set beneath a large stained-glass fanlight bearing the inscription "Shiloh Lutheran Church Welcome." Brass sconces flank the door.



Figure 41: Location and Parcel Boundaries of the Shiloh Lutheran Church (AX0071).⁹³

⁹³ Esri 2017

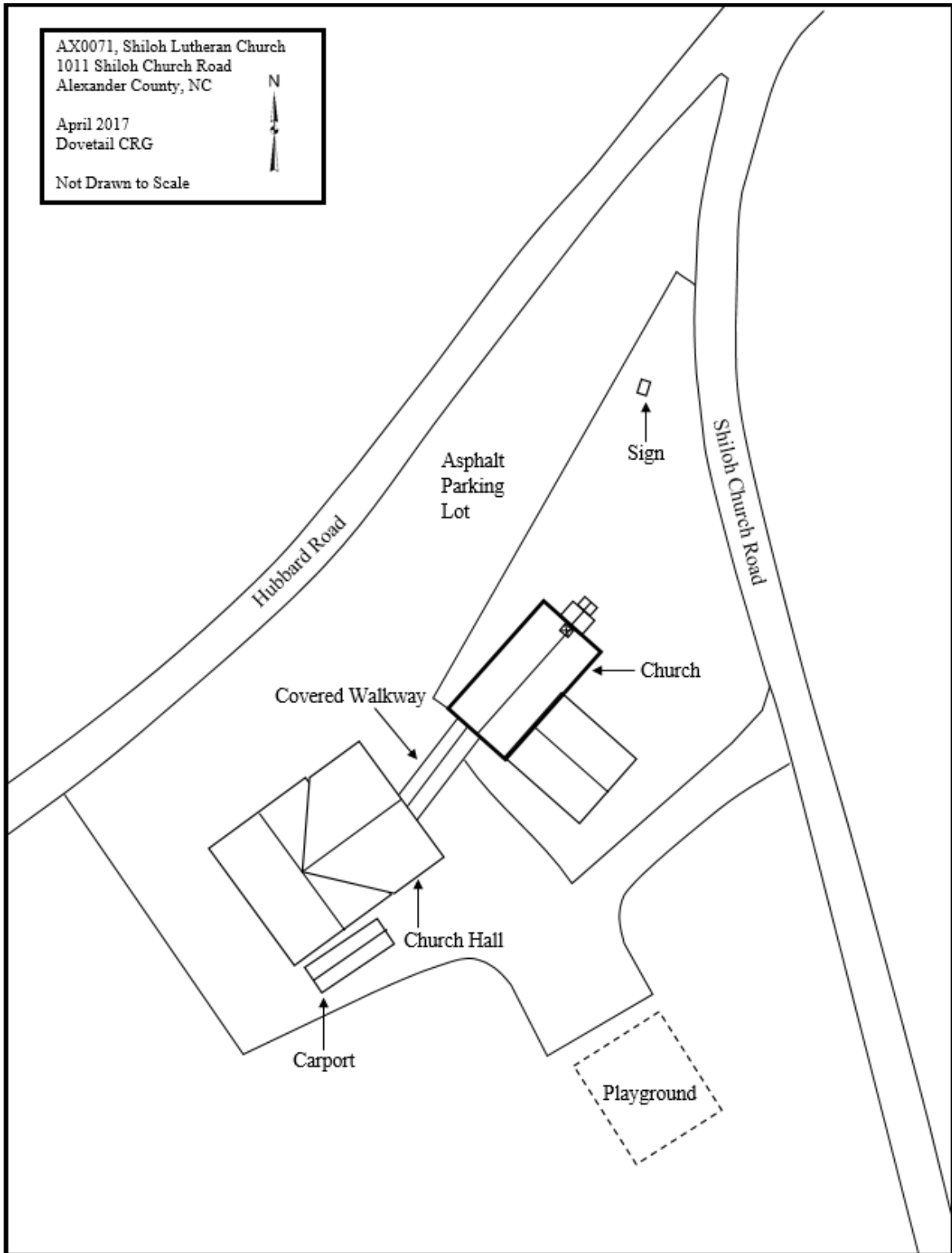


Figure 42: Site Plan for Shiloh Lutheran Church (AX0071).



Photo 65: Shiloh Lutheran Church, Northwest Elevation.

The church's narthex extends from the primary (northeast) elevation and features the same materials as the main core of the church (Photo 66). Two fixed, arched, wooden stained-glass windows flank the narthex. A one-story, one-bay, entry porch extends from the narthex. Built atop a brick-veneer-clad stoop, the porch's front-gabled roof is covered in asphalt shingles and is supported by decorative metal posts. A small shed-roof porch extends off the narthex's northwest elevation and covers the end of an elevated metal wheelchair ramp that runs along the church's northwest elevation. Additional fenestration on the southeast and northwest elevation includes one-over-one, double-hung-sash, vinyl windows on the basement level with fixed, arched, wooden, stained-glass windows above.



Photo 66: Church, Northeast (Primary) Elevation.

A two-story, four-bay, circa-1965 addition extends off the southern end of the church's southeast elevation (Photo 67). Featuring the same materials as the main church, the addition's brick veneer is laid in a five-to-one common bond. A low-pitched, side-gabled roof tops the addition. A single-leaf, half-glazed, wood door opens in the northern-most bay on the northeast elevation and is covered by a pent roof. Another single-leaf, half-glazed, wood door is centered on the southeast elevation and is also topped by a pent roof.



Photo 67: Church Addition South Oblique.

Dovetail gained access to the interior of the church during this survey. The original core is arranged on a simple linear plan. A double-leaf, swinging, wooden door with two rectangular lights separates the enclosed narthex from the main church. The main core of the church features a central aisle leading from the narthex to the altar, with rows of wood pews on each side (Photo 68). A set of three steps leads from the main floor level up to the altar, where two wood lecterns sit. The altar itself is set within a recessed arch and features an arched, stained-glass window directly behind it. The circa-1965 addition's second story opens directly into the sanctuary, forming an ell shape to the southeast of the altar. Set three steps up from the main-floor level, the addition holds the church's electric organ and additional pews which are off-set slightly to the southwest to accommodate the organ. Four small classrooms open off the southwest side of the addition.

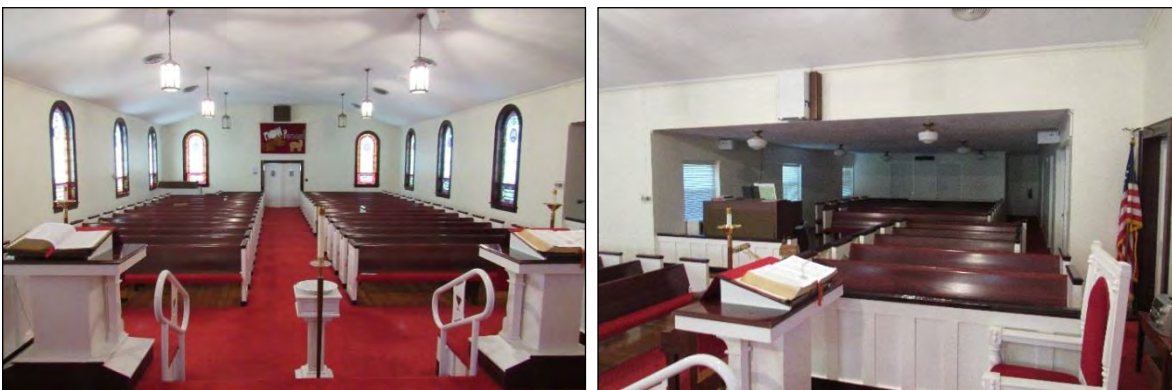


Photo 68: Interior Details of Shiloh Lutheran Church, Looking Northeast from the Alter (Left) and Looking Southeast from the Alter (Right).

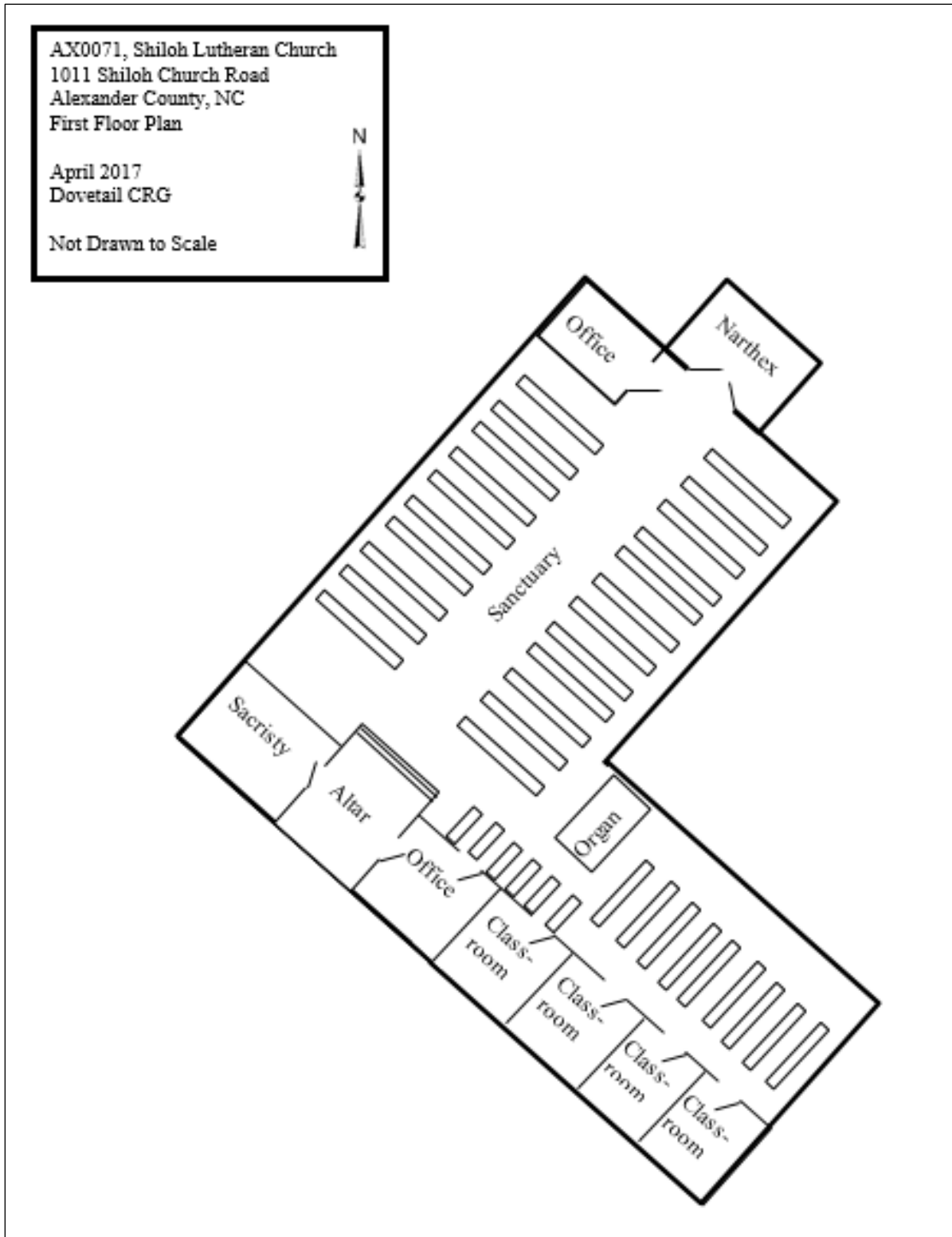


Figure 43: First Floor Plan of the Shiloh Lutheran Church (AX0071).

Within the altar's recessed archway, a door on the northwest wall leads into the sacristy (Photo 69). The basement area directly beneath the altar features several of the church's classrooms, as well as the choir room, and two restrooms. What had previously been used as the church hall before the construction of the separate building for that use, is located in the basement beneath the main body of the church. Other classrooms, offices, and the church's library are set beneath the narthex and on the first floor of the circa-1965 addition.



Photo 69: Interior Detail of Shiloh Lutheran Church, View of the Sacristy.

Throughout much of the second half of the twentieth century the addition on the back of the church building served the church as a space for meetings, classrooms, and storage. However, in the mid-1990s, the congregation was in need of additional space and they constructed a new hall (Photo 70, p. 99).. The building's continuous foundation and structural system are clad in a stretcher-bond brick veneer. A cross-gabled roof sheathed in asphalt shingles tops the building. The primary entrance is centered on the northeast elevation and is filled with a double-leaf, metal-and-glass, commercial-style door. Two secondary entrances sit on the northwest elevation: a single-leaf, six-panel door opens directly on the northwest elevation while a double-leaf, six-panel door opens on the northeast elevation of the projecting cross gable. Additional fenestration includes one-over-one, double-hung-sash, vinyl windows and arched, fixed, metal-framed, stained-glass windows. A one-story, three-bay, recessed porch covers the three northern bays on the northwest elevation. The porch's roof is supported by Tuscan columns and features a Tuscan pilaster on the northern end of the building. A covered walkway connects the church hall with the main church. Topped by a low-pitched, gabled roof, the covered walkway is supported by four, square, brick posts.



Photo 70: Church Hall, East Oblique.

A circa-1995 sign sits to the northeast of the primary resource (Photo 71). The metal-frame sign is supported by a rectangular metal post and features a back-lit plastic board. The board features the church's worship schedule as well as three rows of plastic trays that can hold plastic letters for customized messages.



Photo 71: Sign, Looking South.

A circa-1995 playground sits to the south of the primary resource (Photo 72). Enclosed by a metal chain-link fence, the playground is composed on two metal-framed swing sets and a wood climbing tower with a plastic tube slide.



Photo 72: Playground, Looking South.

A one-bay, circa-2000 carport sits immediately to the southeast of the church hall (Photo 73). The metal-frame structure is topped by a low-pitched, front-gabled roof sheathed in corrugated metal.



Photo 73: Carport, East Oblique.

Historic Context

The present-day Shiloh Lutheran Church congregation originally organized in the 1880s near the town of Bethlehem as the Pisgah Lutheran Church. In 1886, the newly formed group negotiated with a man named E. M. Bolick and his wife to acquire a 1.0-acre parcel in Alexander County,

near the Catawba River and, shortly thereafter, a new church was erected. It is also believed that the congregation's name was changed around this time to the present-day Shiloh Lutheran Church, though the first official use of the name in church records occurred in 1893.⁹⁴

In 1947, Shiloh joined with the St. Luke congregation of Conover. At the same time, the Shiloh leadership began formulating plans for expansion. In 1950, they acquired a 1.0-acre parcel from a Mr. Gus H. Stearns near the intersection of N.C. 127 Highway and the Liledoun-Granite Falls Road—the present-day Shiloh Church site—with intent of erecting a new church.⁹⁵ It was conveyed with the condition that if a new church is not erected on the parcel “within a reasonable length of time” or if a new church is built, but at any time in the future is abandoned and ceased to be used as a church, then property reverts back to the grantors, their heirs and assigns.

Planning for the new facility was initiated in 1950 and construction was completed by 1951 at a total cost of \$20,208.09 (Figure 44 and Figure 45, p. 102). The original church was sold and relocated from the Bethlehem site (present-day site of the Shiloh Lutheran Cemetery). The new church contained a full basement and incorporated five classrooms, a meeting space, a kitchen, modern restrooms.⁹⁶



Figure 44: 1947 Aerial View of Shiloh Lutheran Church. Note: The Shiloh Lutheran Church site is circled in red.⁹⁷

⁹⁴ NC Lutheran Synod nd; ACDB J:21.

⁹⁵ ACDB 43:236.

⁹⁶ North Carolina Synod Evangelical Lutheran Church in America (ELCA) nd.

⁹⁷ USGS 1947.

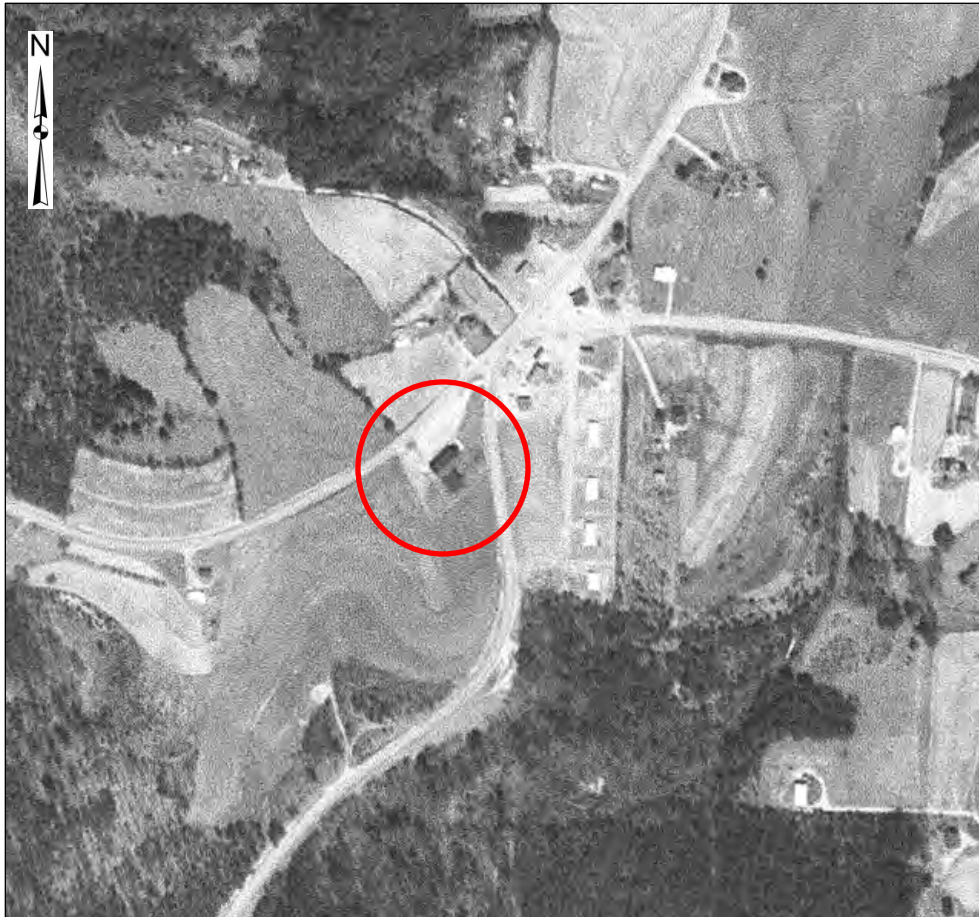


Figure 45: 1964 Aerial View of Shiloh Lutheran Church.⁹⁸ Note: New church is present (circled in red)

Riding the high on that success, the congregation looked to expand even further. A loan of \$6,000 was secured to help cover the cost of constructing a new parsonage, on an adjoining parcel donated by the Duke Power Company. Then, in 1959, a new wing addition was added to the east side of the church to accommodate additional classroom and meeting space.⁹⁹

Additional improvements were made in the early 1970s, including a new roof and air conditioning for the church, and paved parking lots. The property was also further expanded through the acquisition of an additional 1.33-acre lot in 1972.

In the early 1980s, the area just west of the church parcel was platted for a new residential development called the Lakemont Park Subdivision. In 1985, the church succeeded in acquiring an adjoining parcel, designated as Lot 19 of the subdivision on the plat map shown in Figure 46 below (p. 103) for \$4,500. The conveyance came with the restriction that the property would be

⁹⁸ USGS 1964.

⁹⁹ Ibid.

used only for “legitimate church purposes.”¹⁰⁰ That same year, construction of a new parish hall began.

In 1966, the church acquired 0.055-acre parcel from Lucy Pope and Frank L. Hefner that adjoined the old Shiloh Church cemetery lot (site of the original 1880s church) for the purposes of expanding the cemetery grounds.¹⁰¹

Other improvements to the property included a new playground in 1995 and a single-bay carport around 2000.

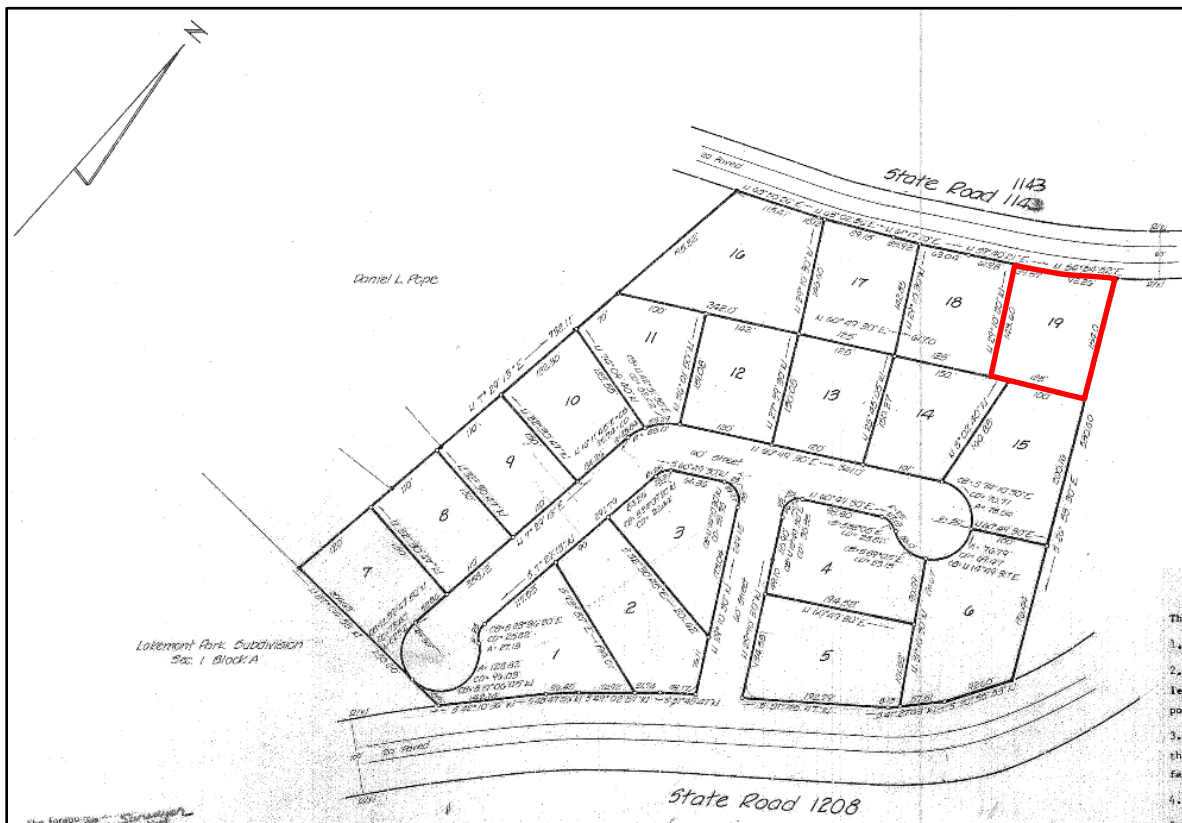


Figure 46: Plat Map of the Lakemont Park Residential Subdivision.¹⁰²
Note: Lot acquired by Shiloh Lutheran Church outlined in red.

¹⁰⁰ Ibid.; ACDB 254:435

¹⁰¹ ACDB 80:554.

¹⁰² ACPB 5:11.

Evaluation

The Shiloh Lutheran Church remains in good overall condition and constitutes a representative example of the Colonial Revival-styled form that served as the predominant model for new church design and construction into the 1950s twentieth century.

A number of Colonial Revival-styled churches can be found in the general area. The two pictured below are just a couple of examples (Photo 74–Photo 75, p. 104). The first, Mt. Olive Baptist Church in Taylorsville, was constructed in 1957. This building’s form and massing resembles that of Shiloh Lutheran Church and features a similar gabled entry and decorative buttresses as well. The second, Friendship Baptist Church (CT1291), was built in southwest Hickory in 1958.



Photo 74: Mt. Olive Baptist Church, 210 Mt. Olive Church Road, Taylorsville, North Carolina.

Shiloh Lutheran Church retains adequate integrity with regard to location, design, materials, workmanship. The church and grounds have evolved and expanded several times over the years, but this is not a-typical as congregations were forced to evolve and adapt their facilities to meet the needs of expanding members and community services. Consequently, the impact on its integrity of setting, feeling, and association is minimized.

In order to be considered eligible for the NRHP under Criterion A, a resource “must be associated with one or more events important in the defined historic context;” the associated can

be one (or both) of two types of events: 1) a specific event marking an important moment in American prehistory or history and 2) a pattern of events or a historic trend that made a significant contribution to the development of a community, a state, of the nation.¹⁰³ The Shiloh Lutheran Church property bears no known associations with any particularly significant events or historic trends. As such, it is recommended not eligible for the NRHP under Criterion A.



Photo 75: Friendship Baptist Church (CT1291), 340 1st Street SW, Hickory, North Carolina.

For a resource to be considered eligible under Criterion B, it must be associated with a person who is “individually significant within a historic context” and has “gained importance within his or her profession or group.”¹⁰⁴ None of the people closely associated with Shiloh Lutheran Church are known to have made particularly significant contributions to the area’s history and, as a result, the property is recommended not eligible under Criterion B.

Criterion C as outlined by NPS pertains to “properties significant for their physical design or construction, including such elements as architecture, landscape architecture, engineering, and artwork.” For a resource to be eligible for the NRHP under Criterion C, it must “Embody distinctive characteristics of a type, period, or method of construction, represent the work of a master, possess high artistic value, or represent a significant and distinguishable entity whose components may lack individual distinction.” Though the Shiloh Lutheran Church still clearly reflects its Colonial Revival-inspired design, it is not a particularly distinctive or unique example. Consequently, it is recommended not eligible for the NRHP under Criterion C.

¹⁰³ NPS 2015.

¹⁰⁴ Ibid.

For a property to be eligible under Criterion D, it must meet two requirements: 1) the property must have, or have had, information to contribute to our understanding of human history or prehistory, and 2) the information must be considered significant.¹⁰⁵ The property at Shiloh Lutheran Church is not likely to yield any new information pertaining to the history of building design or technology. Therefore, this resource is recommended not eligible under Criterion D.

In sum, Shiloh Lutheran Church is **recommended not eligible for listing in the NRHP under any Criteria.**

¹⁰⁵ Ibid.

CT1575: The Horsebarn LLC

Date of Construction: Circa 1950
Modifications: Circa 1970

4405 North Center Street
Catawba County, North Carolina
PIN: 371518306570
Eligibility Recommendation: Not Eligible



Architectural Description

The Horsebarn LLC complex is located at 4405 North (N.) Center Street on the north side of the road approximately 0.15 miles southwest of the intersection of N. Center Street and Cloninger Mill Road NE (Figure 47, p. 108 and Figure 48, p. 109). Situated just south of Lake Hickory in a moderately populated area of Catawba County, the parcel contains about 20 acres. The buildings that make up this resource are centered near the middle of the irregularly shaped parcel and are accessed by a gravel driveway that extends north from the road. The land that surrounds the buildings is covered by a manicured grass lawn and small shrubs. The rest of the parcel that extends to the west and the northeast is heavily forested with mature, deciduous trees. The parcel is surrounded by residences on all sides. The buildings that make up this resource include a horse barn, office, two silos, and a barn. They will be discussed below in that order (east to west).

A circa-1950, one-and-a-half-story, two-bay, horse barn is located on the east side of the building cluster (Photo 76, p. 110). The foundation and structural system for the first floor have a brick veneer laid in a five-to-one-common bond with a decorative course about halfway up the building. This is topped by the half story that appears to be wood framed and clad in weatherboard. It is covered by a gambrel roof with exposed rafter tails and sheathed in asphalt shingles. The front gable features a large hay hood. Three shed dormers line both the northeast and southwest roof slopes. These dormers feature two-light, fixed, wood-frame windows. Three large metal flues pierce the ridgeline of the roof.

The primary entrance, located on the southeast elevation and facing the road, features two large open bays (Photo 77, p. 110). A louvered vent is located above each open bay. Additional fenestration on the primary elevation includes a centered window opening topped by a segmental arch that has been boarded up. Another segmental arch is located directly under the boarded up window opening, suggesting that there had been another window located there. The barn is flanked by one-story, one-bay, full length additions. These additions are composed of concrete block with brick veneer on the primary (southeast) elevation and are covered by shed roofs sheathed in asphalt shingles. These additions feature multiple single-leaf, flush wood doors as well as skylights along the roof slope.



Figure 47: Location and Parcel Boundaries of the Horsebarn LLC (CT1575).¹⁰⁶

¹⁰⁶ Esri 2017.

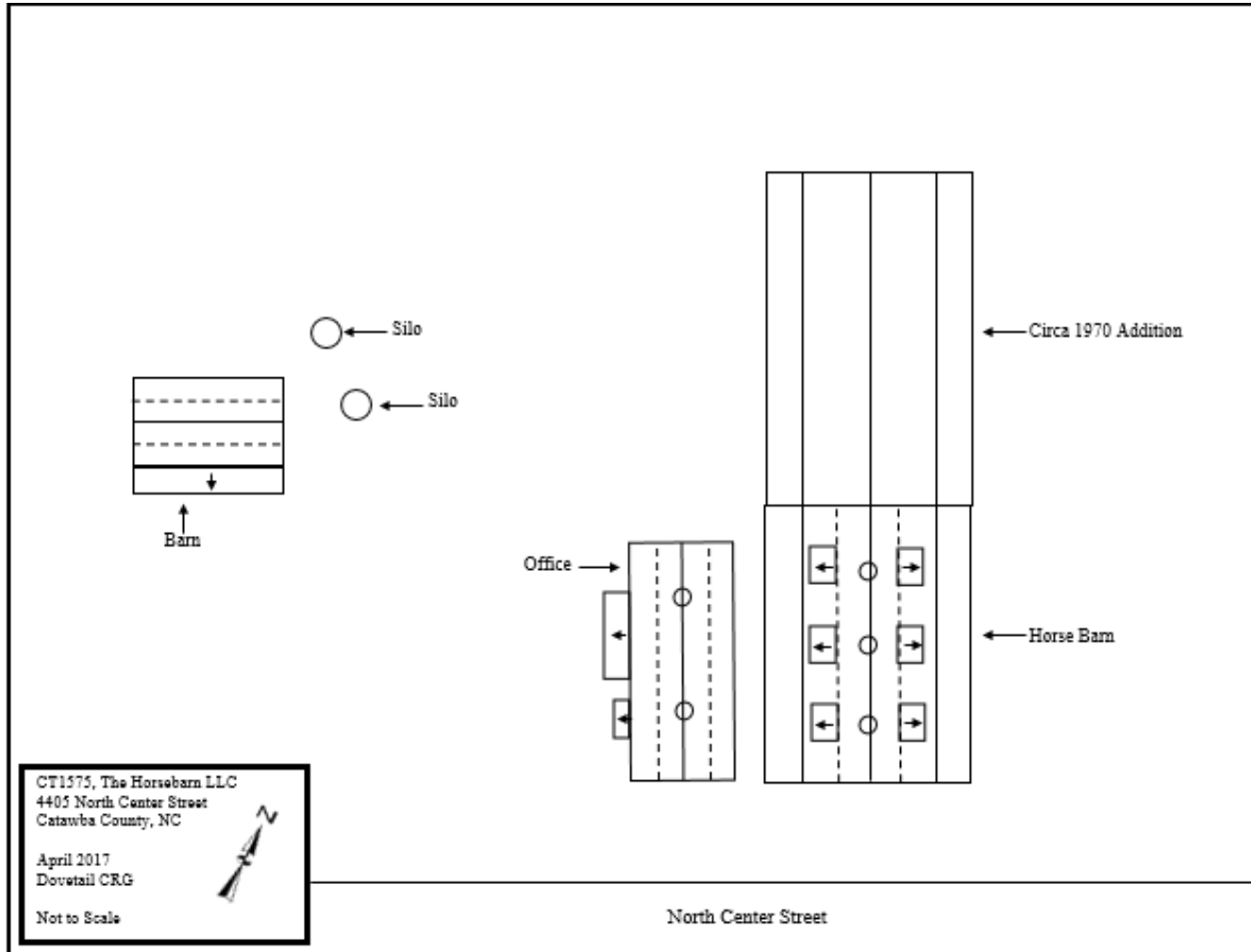


Figure 48: Site Plan for The Horsebarn LLC (CT1575).



Photo 76: Horse Barn, East Oblique.



Photo 77: Horse Barn, Southeast Elevation.

Access was obtained to the first floor of this barn. The barn is built on an open linear plan with a poured-concrete aisle running down the center (Figure 49, p. 111; Photo 78, p. 112). Large wood posts line the aisle, supporting the exposed ceiling joists. The walls are composed of brick laid in a five-to-one common bond. Upon first entering the barn, a single-leaf, three-paneled, wood door with six-fixed lights at the top is located directly to the southwest and leads to an office. The northeast side of the barn is lined with horse stalls, most of which feature a single-leaf, Dutch-style, wood door. Both the northeast and southwest sides of the barn have three-light, fixed, metal-framed windows. A set of stairs are located on the northwest end of the barn and lead to the loft or half story above.

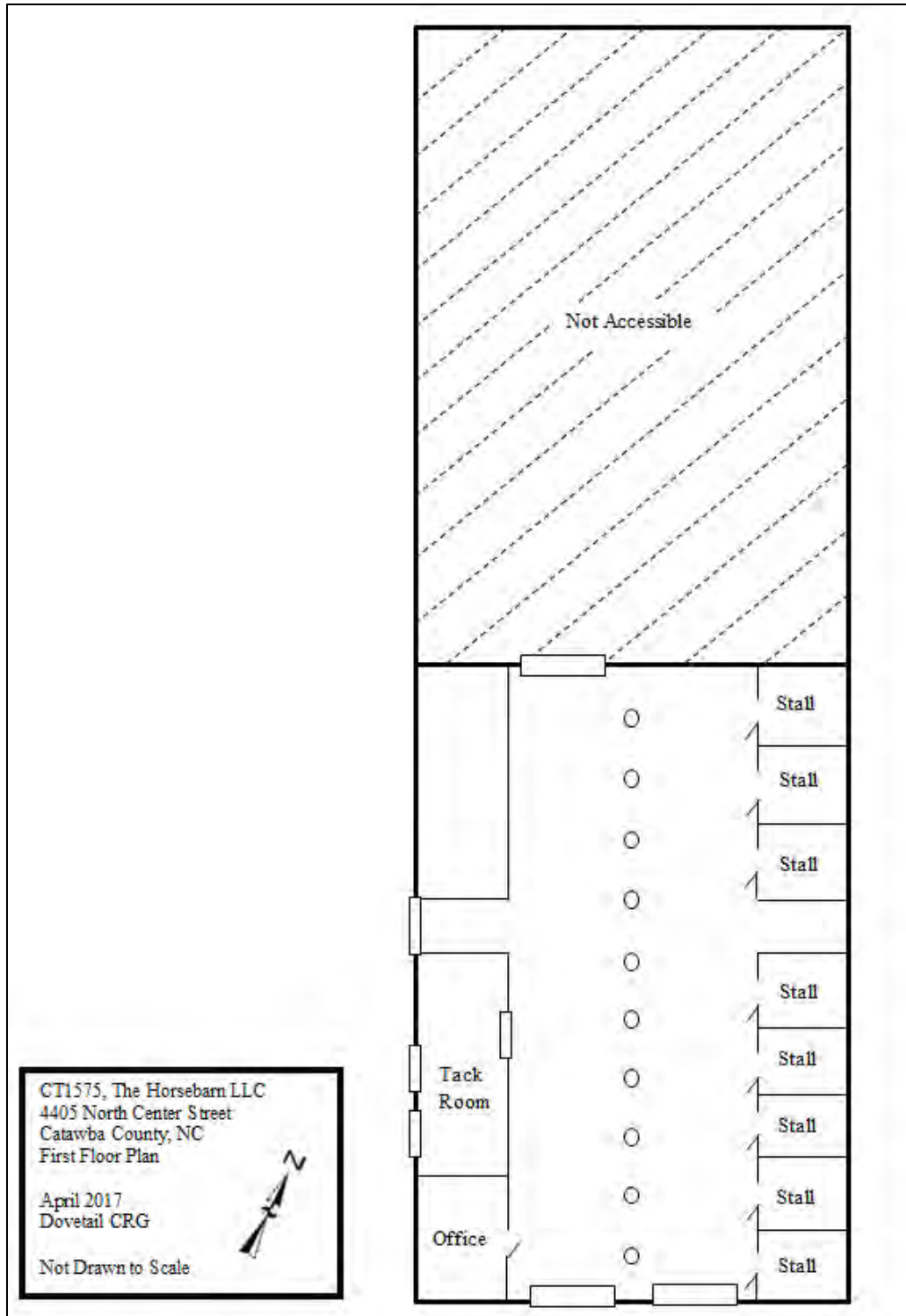


Figure 49: Floor Plan of the Horse Barn at The Horsebarn LLC (CD1575).



Photo 78: Interior of the Horse Barn, Looking Northwest.

A circa-1970 addition extends from the northwest elevation of the horse barn (Photo 79, p. 113). It is equal in size and massing to the original core. The foundation and structural system are composed of concrete block and are covered by a front-gabled roof with exposed rafter tails sheathed in asphalt shingles. A gabled clearstory extends the entire ridgeline of the roof and features four-light, fixed, wood-frame windows separated by louvered vents. All of the windows have been boarded up. A large, sliding metal door is located on the southwest elevation.

A circa-1950, one-story, three-bay, office is located west of the horse barn (Photo 80, p. 113). The foundation and structural system are not visible and are clad in a running-bond brick veneer. The attic and roof space is wood framed and clad in weatherboard. The resource is covered by a gambrel roof with flared eaves and exposed rafter tails that is sheathed in corrugated metal. Two larger metal flues pierce the ridgeline of the roof. The primary entrance is centered on the southeast elevation and is filled with a single-leaf, two-paneled, wood door topped by seven fixed lights. The door is flanked by three-light, metal casement windows on brick sills. Additional fenestration on the other elevations includes three-light, metal casement windows on brick sills as well as one-over-one, double-hung sash vinyl windows. Two secondary entrances are located on the southwest elevation (Photo 81, p. 113). The southernmost features two, single-leaf, wood doors. They are covered in a shed-roofed awning supported by metal poles on a poured-concrete foundation. The other secondary entrance is filled with a single-leaf vinyl door with two fixed lights. This entrance is located within a two-bay porch, set on a brick-veneer foundation, supported by metal poles, and covered by a shed-roof sheathed in corrugated metal.



Photo 79: The Horsebarn LLC, Addition Detail, Southwest Elevation.



Photo 80: Office, South Oblique.



Photo 81: Office, Southwest Elevation.

Two circa-1945 silos are located west of the horse barn and office (Photo 82). These two terra-cotta, cylindrical structures stand approximately 30 feet tall. A chute covering and unloading door entry are located on the east elevation of both silos and are also composed of structural terra cotta. These silos were most likely capped by metal dome roofs, but they are no longer present.



Photo 82: Silos, Looking West.

A circa-1945, one-and-a-half-story, four-bay barn is located west of the silos. The concrete-block foundation and structural system is topped by the half story that appears to be wood framed and clad in weatherboard (Photo 83). It is covered by a gambrel roof with exposed rafter tails that is clad in v-crimp metal. The roofline extends on the southeast elevation and creates an awning clad in v-crimp and supported by wood brackets. A metal flue pierces the ridgeline.

The primary (southeast) elevation features three entrances: the southernmost is filled with a larger single-leaf, sliding, wood door and the other two entrances have single-leaf, sliding, wood doors with a single light in the middle. All the doors slide on metal tracks with metal casters. The remaining bay on the primary elevation is filled by a single-light fixed window with a wood sill. Other fenestration includes large open bays and four-light, fixed, wood

windows on the other elevations as well as a secondary entrance to the half-story which is filled with a single-leaf, paneled, wood door which is accessed by a wood staircase.



Photo 83: Barn, East Elevation.

Historic Context

The present-day property was originally part of a larger farm tract acquired by Joseph F. Moore via several transactions during the mid-nineteenth century. Following Joseph F. Moore's death in 1994 a large portion went to his son, H. L. Moore.¹⁰⁷

Moore's name appears on an 1895 map of Catawba County in close proximity to the present-day 7331 N. Center Street property (Figure 50, p. 116). The tract in question encompassed 254.25 acres of land compiled from several smaller, adjoining tracts, portions of which were part of the landholdings of Moore's father, Jacob F. Moore.¹⁰⁸

¹⁰⁷ CCDB 1:271, 3:271, 3:546.; The Hickory Press, July 19, 1894.

¹⁰⁸ CCDB 32:518, 64:56.

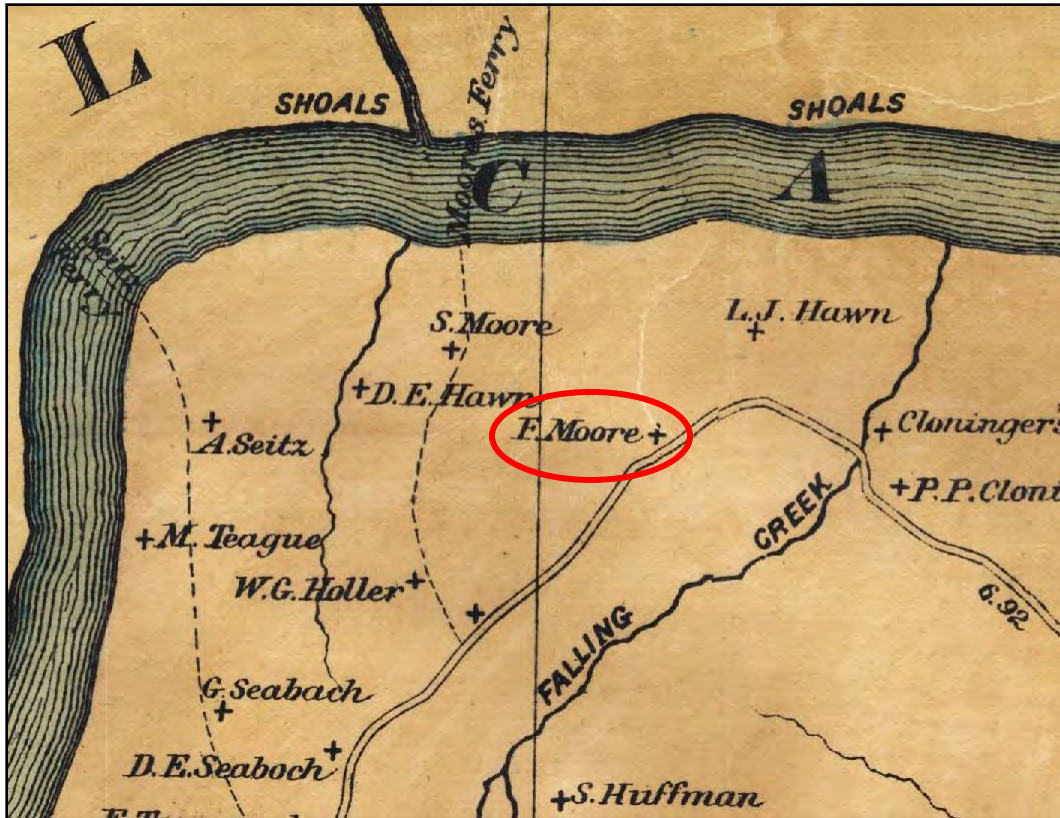


Figure 50: Site of 4331 North Center Street, Shown on an 1886 Map of Catawba County.¹⁰⁹
Map not to scale.

In the mid-1930s, the Duke Power Company, which had acquired some land in the area, sold two tracts to Ernest E. and Mary Luella Presslar Whisnant totaling 105 acres.¹¹⁰ It is unclear exactly when Ernest and Luella began occupying their new property, which would become known locally as the Whisnant Farm.¹¹¹

Ernest Whisnant was already a well-established businessman in the Hickory community. He and his brother, C. L. Whisnant, founded Whisnant Hosiery Mill in the late 1920s. Over time, the operation would become the second most profitable mill operation in the area.¹¹²

Ernest not only founded the hosiery mill, but the Hickory-based Catawba Paper Box Company as well. He was also an active civic leader, serving as chairman of the Hickory Board of Education and the Catawba County Republican Party, and as an alderman for the city of Hickory. His business interests extended beyond hosiery. In addition to buying and

¹⁰⁹ Yoder 1886.

¹¹⁰ CCDB 265:369, 284:384.

¹¹¹ Floyd 2017; CCPB 21:78.

¹¹² Phillips 2013.

selling real estate he also raised prize-winning Hereford cattle.¹¹³ The latter pursuit is likely the reason for his purchase of the 4331 N. Center Street property.

A 1938 highway map of Catawba County (Figure 51, p. 117) shows a large structure of some type in very close proximity to the current project site, which, conceivably, could have been a cattle barn.



Figure 51: The Approximate Location of 4331 N. Center Street as Shown on a 1938 Highway Map of Catawba County.¹¹⁴ Map not to scale. Note: map indicates a structure of some kind in the general vicinity of present-day 4331 N. Center Street.

The first evidence of any improvements being made comes from a 1947 aerial (Figure 52, p. 118). The photo shows a cluster of several buildings on the east side of the property and a house just to the west. This is presumably the Whisnant family's home, though city directories from this period are a bit ambiguous about the exact address.

In the 1950s Whisnant's interests shifted again, this time to the raising and training of show horses in stables erected next to their home.¹¹⁵ He constructed a large horse barn and stables on the parcel.

The Whisnant farm remained largely intact until the 1990s, save for a couple of small parcels that he sold to his son-in-law, Harrison J. Williams, Jr., the husband of his daughter Mary Jo Whisnant Williams (Figure 53, p. 119).¹¹⁶

¹¹³ Catawba County Public Library 2017; Phillips 2013..

¹¹⁴ NCSH&PWC 1938.

¹¹⁵ Catawba County Public Library 2017.

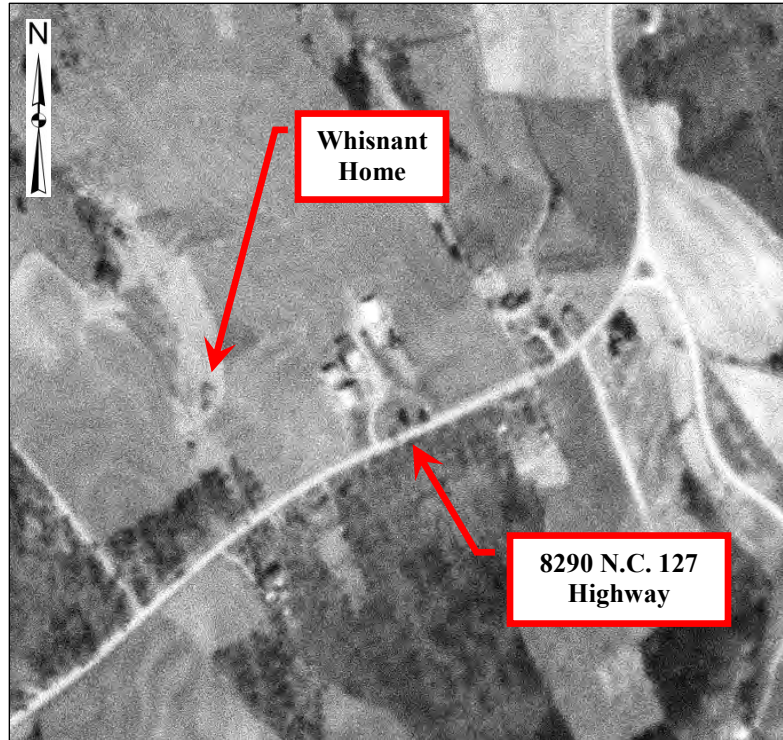


Figure 52: 1947 Aerial View of 4331 N. Center Street.¹¹⁷

Ernest passed away in 1982. His widow, Luella, remained on the farm until her own death in 1996. Her surviving children, Mary Jo Williams and Hoke D. Whisnant, then sold the 100.28-acre tract to developer, Moore's Ferry Associates. The conveyance was made with 1.066-acre easement attached.¹¹⁸ A 1995 plat map recorded earlier that year shows the layout and disposition of the farm more or less as it appeared at the time of the 1996 sale (Figure 53, p. 119).

In 2012, Catawba County issued a permit to property owners, HorseBarn, LLC, for the proposed demolition of a house, presumably the former home of Ernest and Luella Whisnant.¹¹⁹ As shown on the plat map in Figure 53 (p. 119), the home of Ernest and Luella Whisnant, a one-story brick dwelling, was located a short distance to the west of the barn complex, near an access road extending northwest from NC 127 Highway.

¹¹⁶ CCDB 698:122, 1227:879.

¹¹⁷ USGS 1947.

¹¹⁸ CCDB 2012:1830.

¹¹⁹ Catawba County GIS Parcel Report 2017.

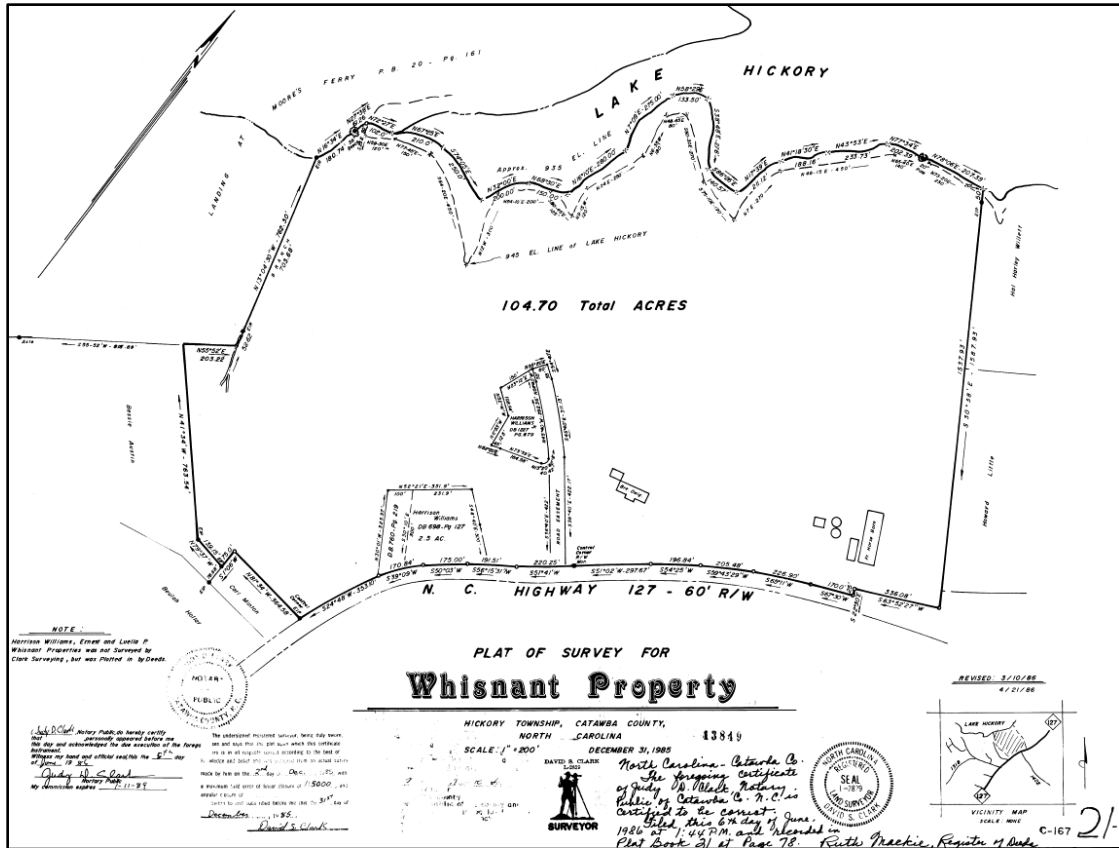


Figure 53: 1985 Plat Map of the Whisnant Property (4331 N. Center Street).¹²⁰

Evaluation

Despite the property’s associations with prominent local businessman and civic leader Ernest E. Whisnant, the encroachment of modern commercial and residential development, the loss of several buildings including the main house, and the deteriorating condition of remaining built elements, have compromised the property’s overall integrity of setting, feeling, materials, design, workmanship, and association. Moreover, the encroachment of modern residential and commercial development over the last couple of decades has further diminished the site’s integrity, particularly with regard to setting and feeling.

A review of mid-twentieth-century aerial photographs of the property indicated that the Whisnant home and several outbuildings were extant prior to 1950, but the present-day horse barn was not constructed until at least 1951 when it appears on aerial images. The Whisnant Farm property’s horse barn exhibits some interesting design and stylistic features, but it is not a particularly unique or a standout example. Wood frame barns of varying size, shape and function can be found in the rural areas to the north, in Alexander County (see Photo 85 and Photo 84, p. 120 for examples), but are disappearing along the northern edges of Catawba

¹²⁰ CCPB 21:78.

County where modern development has encroached.¹²¹ Additionally, as discussed, the site's integrity concerns as a whole diminishes the architectural and historic significance of the barn as well.



Photo 84: Barn at 8290 N.C. 127 Highway, Northeast Oblique.



Photo 85: 1930s-era, Gambrel-roofed Barn Located at 178 Heritage Trail Road.

The property at 4331 N. Center Street has have evolved over the years, which is not uncommon for a farm complex. It retains adequate integrity of location, but the loss of certain buildings, including the Whisnant's former home, along with the deteriorating condition of the extant resources and the encroachment of modern development, have had a

¹²¹ Mason 1987.

cumulative and negative impact on the site's integrity with regard to setting, feeling, materials, design, workmanship, and association.

In order to be considered eligible for the NRHP under Criterion A, a resource "must be associated with one or more events important in the defined historic context;" the associated can be one (or both) of two types of events: 1) a specific event marking an important moment in American prehistory or history and 2) a pattern of events or a historic trend that made a significant contribution to the development of a community, a state, of the nation.¹²² The Whisnant Farm property bears no known associations with any particularly significant events or historic trends. As such, it is recommended not eligible for listing on the NRHP under Criterion A.

For a resource to be considered eligible under Criterion B, it must be associated with a person who is "individually significant within a historic context" and has "gained importance within his or her profession or group."¹²³ Though the Whisnant Farm property has clear ties to prominent local business man and civic leader, Ernest E. Whisnant, the resource's diminished integrity comprises its capacity to convey those associations. As a result, the property is recommended not eligible for listing on the NRHP under Criterion B.

Criterion C as outlined by NPS pertains to "properties significant for their physical design or construction, including such elements as architecture, landscape architecture, engineering, and artwork." For a resource to be eligible for the NRHP under Criterion C, it must "Embody distinctive characteristics of a type, period, or method of construction, represent the work of a master, possess high artistic value, or represent a significant and distinguishable entity whose components may lack individual distinction." As noted, while the property's 1950s barn exhibits some interesting architectural details the Whisnant farm's general issues with diminished integrity impact the barn's as well. Consequently, it is recommended not eligible for listing the NRHP under Criterion C.

For a property to be eligible under Criterion D, it must meet two requirements: 1) the property must have, or have had, information to contribute to our understanding of human history or prehistory, and 2) the information must be considered significant.¹²⁴ The property at Whisnant Farm property is not likely to yield any new information pertaining to the history of building design or technology. Therefore, this resource is recommended not eligible under Criterion D.

In sum, 4331 N. Center Street is **recommended not eligible for listing in the NRHP under any criteria.**

¹²² NPS 2015.

¹²³ Ibid.

¹²⁴ Ibid.

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APPENDIX A: CHAINS OF TITLE

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AX0065, House at 7031 N.C. Highway 127

INSTR. TYPE	BK	PG	DATE	GRANTOR	GRANTEE	ACRE	NOTES/ COMMENTS
Deed	589	2385	April 27, 2016	James Doyle Price	Stephen Tyler Brown	7.11; 3.63	Lots 6 & 7 (10.74 total acres) of the U.L. Price Estate Subdivision
Deed	575	60	June 23, 2014	Clyde Price, Widower	James Doyle Price	2.73	Lot No. 8 in the division of the U. L. Price Estate
Deed	577	2399	October 30, 2014	Clyde Price, Widower	James Doyle Price	7.11; 3.63	“Being all of lot No. 6 of the U.L. Price Estate Subdivision, containing 7.11 acres, and all of lot No. 7 containing 3.63 acres”
Deed	68	221	January 1, 1962	Janice White Walker and Dick Walker	Clyde F. Price	2.73	Lot No. 8 of the U. L. Price Estate property
Deed	66	563	May 22, 1961	Arlie Roy Cagle and Hazel White Cagle, Janice White Walker and Ernest W. White, and Z.E. Duncan and Eula Price Duncan, et al..	Clyde Price and Katherine Winfred Price	7.11; 3.63	Lots 6 & 7 (10.74 total acres) of the U.L. Price Estate Subdivision
Deed of Correction	66	561	May 22, 1961	Heirs of U.L. Price	Arlie Roy Cagle and Hazel White Cagle, Janice White Walker and Dock Walker, & Ernest H. White	2.73	Lot No. 8 of the U.L. Price Estate Subdivision
Plat	2	70	February 22, 1961				“U. L. Price Estate” Alexander County; Map by Clarence N. Bolick
Deed	62	187	May 21, 1960	Heirs of U.L. Price	Arlie Roy Cagle and Hazel White Cagle, Janice White, and Ernest H. White	2.73	Lot No. 8 in the divided estate of the late U.L. Price

WBS# 38870.1.2
 TIP Number: R-3603A
 Alexander and Catawba Counties
 January 2018

INSTR. TYPE	BK	PG	DATE	GRANTOR	GRANTEE	ACRE	NOTES/ COMMENTS
Deed	J	183	November 3, 1890	R. M. Sharpe, Sherriff of Alexander County	U.L. Price	94	This land belonged to G. W. Price, the defendant in a suit brought against him by D. S. Little over the former's outstanding debts. The land was seized and sold at public auction to cover debts; Land was conveyed with appurtenances to U.L. Price, who had the bid of A. D. Price, the highest bidder at the public sale; Tract adjoins land of Levi Price
Deed	I	394	January 30, 1888	Isaac Price and Elizabeth Price	John W. Price and Mary Price	90	Tract crosses Jumping Run
Deed	N	545	December 31, 1888	North Carolina	J. W. Price	5 1/2	Surveyed lands of J.W. Price on the waters of the lower Little River; Conveyed together with all woods, waters, mines, minerals, hereditaments and appurtenances
Deed	F	186	1882	L. C. Gryder and W. G. Gryder	John W. Price	50	Tract adjoins Levi Price's land and borders Jumping River Creek

AX0066, House at 225 Richey Road

INSTR. TYPE	BK	PG	DATE	GRANTOR	GRANTEE	ACRE	NOTES/ COMMENTS
Deed	493	709	March 16, 2006	Lois S. Teague (Executrix of the Estate of Ruby J. Sigmon) and Billy J. Teague, Fred E. Sigmon and Shirley Sigmon, Dennis R. Sigmon and Nina Sigmon	Jerry McCaleb and Gret H. McCaleb	17.775	
Deed	425	563	September 12, 2001	Fred E. Sigmon and Jeannette Yow Sigmon	Jeannette Yow Sigmon	10.95	2 Tracts part of the D. T. Johnson's estate lands conveyed to Ruby Johnson Sigmon
Deed	398	245	February 9, 1999	Ruby Johnson Sigmon	Bethlehem Baptist Church of Alexander Co.	4.163	
Right of Way Agreement	389	1039	March 30, 1998	Ruby Johnson Sigmon	Bethlehem Community Volunteer Fire Department, Inc.	0.193	
Deed	392	139	June 19, 1998	Ruby Johnson Sigmon	Terry J. Palmer and Mary Lee A. Palmer	0.136	
Deed	392	137	June 1, 1998	Ruby Johnson Sigmon	Todd Lewis Palmer	1.86	
Memoran dum	369	1707	January 15, 1995	Fred Sigmon and Ruby Johnson Sigmon	Centel Cellular Co. of Hickory, LP		
Deed	188	140	April 12, 1976	Terrence Ralph Sigmon and Louise P. Sigmon	Ralph Sigmon and Ruby Johnson Sigmon	3	
Deed	185	209	December 10, 1975	Ralph Sigmon and Ruby J. Sigmon	Terrence Sigmon and Louise Sigmon		

INSTR. TYPE	BK	PG	DATE	GRANTOR	GRANTEE	ACRE	NOTES/ COMMENTS
Deed	52	360	December 29, 1956	Ralph Sigmon and Ruby J. Sigmon	Glenn Lee Sigmon and Shirley Roberts Sigmon	3.5	
Deed	47	290	August 18, 1952	Lelia Clontz	Ralph Sigmon and Ruby Johnson Sigmon		
Deed	37	259	Mary 27, 1945	O.S. Gilreath and Essie Johnson Gilreath, Perry Coons and Mary Johnson Coons	Ralph Sigmon and Ruby Johnson Sigmon	115	Lot No. 2 in division of D. T. Johnson's estate
Deed	U	237	December 15, 1900	J. P. Deal and Emma Deal, A. J. Bogle and E. L. Bogle	Taylor Johnson	9	
Deed	P	167	September 24, 1900	E. D. Pressley and R. L. Pressley	Taylor Johnson	10	
Deed	R	300	March 24, 1894	M. P. Johnson and Anna E. Johnson	D. T. Johnson	340	
Comm's Report	J	160	February 22, 1890	Bell White, et al.	D. T. Johnson	267; 0.5	Commissioners' Report; Lot 1: One-half of home place (177 acres) conveyed to Julia A. Johnson; Lot 2: Consisting of 4 tracts, conveyed to Ada E. Johnson; Lot 3: 267 acres, 3 continuous tracts: the Richie Benfield Tract, Flowen Tract, and part of the Echerd [sic] Tract, plus a 0.5-acre Town Lot (the William Moose Lot), conveyed to David T. Johnson; Lot 4: 334+ acres

AX0067, House at 7625 N.C. Highway 127

INSTR. TYPE	BK	PG	DATE	GRANTOR	GRANTEE	ACRE	NOTES/ COMMENTS
Deed	548	1330	June 3, 2011	Joye Teague Hollar (Trustee of Joe C. Teague Family Trust)	Joye Teague Hollar (Trustee of Joe C. Teague Family Trust)	0.581	
Deed	548	705	May 20, 2011	Mildred M. Teague (Executrix of the Estate of Joe Carroll Teague); and Joye Teague Hollar (Trustee of Joe C. Teague Revocable Trust)	Joye Teague Hollar (Trustee of Joe C. Teague Revocable Trust)	0.581	
Deed	553	109	December 23, 2011	Stephen Clayton Teague (Trustee for the Dan C. Teague Family Trust)	Stephen Clayton Teague (Trustee for the Dan C. Teague Family Trust)	0.581	"The property hereinabove described does not include the primary residence of the Grantor"
Deed	368	1669	January 1, 1995	Joe C. Teague and Dan C. Teague/CE, and First Citizens Bank & Trust Co., as Co-executors of the Clayton Marcus Teague Estate	Joe C. Teague and Dan C. Teague ("As Tenants in Common")	8.581	
Plat	358	1671	July 21, 1992			8.51	"Clayton M. Teague Estate"

INSTR. TYPE	BK	PG	DATE	GRANTOR	GRANTEE	ACRE	NOTES/ COMMENTS
Deed	87	279	February 12, 1968	A. Ray Ritchie (Under a Deed of Separation)	Clayton M. Teague and Hessie P. Teague	20.0, 0.58	2 Tracts: 20.0 ac (see ACDB 58:33) and 0.58 ac (see ACDB 58:37)
Deed	58	37	10/30/1953	John H. Fox and Daisy Fox	A. Ray Ritchie and Floy Bell Ritchie	0.58	
Deed	58	33	12/23/1958	A. Ray Ritchie [sic]	Floybell Ritchie [sic]	20.0	
Deed	37	100	April 20, 1943	Charles Pressler and Exie C. Preslar	Clayton M. Teague and Hessie C. Teague	11.0, 12.0	Tracts located on the bank of the Hickory and Taylorsville Highway
Deed	32	35	March 16, 1940	P. L. Richey and Ida Richey	Ray Richey and Floy Bell Richey	20.0	Combination of the two 11.0 and 12.0-acre tracts
Deed	22	59	April 5, 1929	E. H. Bowman and E. L. Bowman	C. J. Preslar and E. C. Preslar	12.0	
Deed	28	179	January 18, 1927	Q. S. Downs and E. S. Downs	Charles Preslar	11.0	

AX0068, House at 8290 N.C. Highway 127

INSTR. TYPE	BK	PG	DATE	GRANTOR	GRANTEE	ACRE	NOTES/ COMMENTS
QCD	393	2318	September 1, 1998	Perry R. Coonse	Betty Sue Coonse	7.37	Quit Claim Deed (QCD)
Deed	379	2040	January 24, 1997	Perry R. Coonse	Gary R. Coonse and Melissa Jackson Coonse	1.67	Tract 4B-1
Deed	379	2043	January 24, 1997	Perry R. Coonse	J. T. Coonse and Phyllis Beard Coonse, and Christie Diana Coonse	1.67	Tract 4A-3
Deed	372	736	January 21, 1996	Perry R. Coonse	J. T. Coonse and Phyllis Beard Coonse	1.67	Tract 4A-2
Deed	372	739	January 2, 1996	Perry R. Coonse	Gary R. Coonse and Melissa Jackson Coonse	1.67	Tract 4B-2
Deed	372	230	December 19, 1995	Perry R. Coonse	J. T. Coonse and Phyllis Beard Coonse	1.67	Tract 4A-1
Deed	372	233	December 19, 1995	Perry R. Coonse	Gary R. Coonse and Melissa Jackson Coonse	1.67	Tract 4B-3
Deed	37	258	March 27, 1945	Essie Johnson Gilreath and O. S. Gilreath, Ruby Johnson Sigmon and Ralph Sigmon	Mary Johnson Coonse and Perry R. Coonse	70; Lots 1-13, 26	
Deed	27	56	August 16, 1936	Commissioners	Mary Johnson Coonse	70; Lots 1-13, 26	Commissioners Report: Partition of D. T. Johnson estate in suit. 2 Tracts, Tract #1-70 acres and Tract #2 includes Lots 1-13, and 26;
Deed	239	42	February 4, 1929	A. A. Whitener and Louie A. Whitener, Commissioners	D. T. Johnson		Lot #3 of D. Taylor's Estate

AX0069, House at 93 Telephone Exchange Road

INSTR. TYPE	BK	PG	DATE	GRANTOR	GRANTEE	ACRE	NOTES/ COMMENTS
Deed	561	2271	January 3, 2013	Floyd B. Newton and Naoimi R. Newton	Wanda N. Hampton and Roger S. Hampton	0.57	Lots 7-11 in Block B of the Subdivision of the E. H. Spencer Property
Deed	561	1532	December 20, 2012	Floyd B. Newton and Naoimi R. Newton	Wanda N. Hampton and Roger S. Hampton	0.57	Conveyance made subject to grantors' one-half life estate interest in property
DOE	82	688	April 21, 1966	H. E. Spencer	Central Telephone Company		Deed of Easement (DOE)
Deed	74	405	June 27, 1964	Plumer L. Richey and Ida Y. Richey	Floyd B. Newton and Naoimi R. Newton	0.57	Lots 7-11 in Block B of the Subdivision of the E. H. Spencer Property
Deed	74	228	May 19, 1964	A. E. Starnes and Lela Starnes	Plumer L. Richey and Ida Y. Richey	0.57	Lots 7-11 of Block "B" of the E. H. Spencer Subdivision
Deed	57	136	June 11, 1958	Cloyd R. Starnes and Maye M. Starnes	A. E. Starnes and Lela Starnes	0.57	Lots 7-11 of Block "B" of the E. H. Spencer Subdivision
Deed	54	141	June 8, 1957	H. E. Fritts and Ada Mae Fritts	P. L. Richey and Ida Y. Richey		Lots 1-5 & 31-60 in Block "C" and Lots 25-33 in Block "B"
Deed	53	605	June 8, 1957	H. E. Fritts and Ada Mae Fritts	Cloyd R. Starnes and Maye M. Starnes	0.57	Lots 7-11 of Block "B" of the E. H. Spencer Subdivision
Plat	2	28	June 5, 1957			Apx. 15.5	E. H. Spencer RRO SUB_DIV

INSTR. TYPE	BK	PG	DATE	GRANTOR	GRANTEE	ACRE	NOTES/ COMMENTS
Deed	53	536	May 27, 1957	W. L. Spencer and Belle Spencer	H. E. Fritts	15.75	Conveyed tract is 18 acres (same 18 acres conveyed to W. L. Spencer and E. H. Spencer in 1928, ACDB 35:239), minus a 1.25-acre parcel previously conveyed to Grover Bolick and Tracy Bolick (ACDB 48:445) and a 2.0-acre parcel sold in 1955 to Billy H. and Eva I. Davis.
Deed	49	148	March 1, 1955	W. L. Spencer and Belle Spencer	Billy H. Davis and Eva I. Davis	2	
Deed	36	293	April 1, 1935	E. H. Spencer and Metta Spencer	W. L. Spencer	18	Deed conveys E. H. and Metta Spencers' undivided one-half interest
QCD	35	239	August 18, 1928	J. W. Spencer and Ona Spencer, G. L. Bowman and Elizabeth Bowman	E. H. Spencer and W. L. Spencer	18	Quit Claim Deed (QCD); Tract to be equally divided with a division line running east-west; E. H. Spencer to receive the north half and W. L. Spencer the south half
Deed	35	240	February 2, 1888	Marnahn Spencer, Marcus Spencer and Susaanah M. Spencer, Francis S. Spencer and Nancy A. Spencer	Leander Spencer	40	Conveyed 2 tracts totaling about 40 acres

AX0070, Mount Bethel United Methodist Church

INSTR. TYPE	BK	PG	DATE	GRANTOR	GRANTEE	ACRE	NOTES/ COMMENTS
Plat	11	13	May 18, 2007			0.55	"Survey for Mt. Bethel United Methodist Church" by Kevin D. Hefner and Associates
Deed	509	791	June 13, 2007	Trustees of Mt. Bethel Methodist Church	Trustees of Mt. Bethel Methodist Church	0.55	Lot A, 23,391 sq ft; Purpose of deed is to apportion a separate lot from the existing real estate
Deed	515	2423	December 20, 2007	Trustees of Mt. Bethel Methodist Church	Tim Hart Construction	0.51	Lot A, 23,391 sq ft
Deed	422	425	June 27, 2001	Mt. Bethel Trustees	Benjamin E. Woodruff, Trustee, First Citizens Bank & Trust Co.	3.786, 2.0	Transfers a lean on 2 tracts; Tract 1: 3.786 acres and #2: 2.0 acres; Property purchased with a 60-foot ROW easement
Deed	388	544	January 28, 1998	Floyd Wesley Spencer	Trustees of Mt. Bethel Methodist Church	29.6, 1.25	2 Tracts, Tract 1: 26.9 acres, Tract 2: 1.25 acres
Deed	54	145	July 10, 1957	Hal F. Huffman and Rachel B. Huffman	Floyd W. Spencer and Marie S. Spencer	26.9	Parcel adjoins Mt. Bethel Parsonage Lot
Deed	48	264	May 5, 1953	P. E. Spencer and Florence Spencer	Floyd W. Spencer and Marie S. Spencer	1.25	Property adjoins Mt. Bethel Parsonage Lot and Highway
Deed	D	127	December 6, 1869	Henry Payne, et al.	Trustees of Mt. Bethel Methodist Church (A.P. Bohick, J. A. Stearns, & J. W. Stearns)	2	Tract on the Upper and Middle Little Rivers, along Taylorsville Road; Parcel where a Methodist Episcopal Church is "now being erected called Mt. Bethel"

AX0071, Shiloh Lutheran Church

INSTR. TYPE	BK	PG	DATE	GRANTOR	GRANTEE	ACRE	NOTES/ COMMENTS
Deed	399	2101	April 8, 1999	Beulah Starnes Bowman	Shiloh Lutheran Church Trustees	0.08	Conveyed land is a portion of that property conveyed by Gus H. Starnes and wife, Lela H. Starnes to Beulah Starnes Eller by deed dated 8/22/1950
Deed	400	812	March 31, 1999	Alice M. Keenan	Shiloh Lutheran Church of Alexander County	0.003, 1.510	2 tracts
Deed	394	846	July 17, 1998	Shiloh Lutheran Church Trustees	Shiloh Lutheran Church Trustees	3.251	Purpose of deed is to combine all previous conveyances into one described tract of Shiloh Lutheran Church
Deed	394	1341	September 24, 1998	Beulah Starnes Bowman	Shiloh Lutheran Church Trustees		
Deed	394	1344	September 24 1998	Beulah Starnes Bowman	Shiloh Lutheran Church Trustees	0.013	
Deed	254	435	February 13, 1985	Bethlehem Realty, Inc.	Shiloh Lutheran Church	0.41	Lot 19 of Section 5 of Bethlehem Realty, Inc.'s Lakemont Park Subdivision; The property "is transferred hereby subject to the restrictive covenant that the property shall be used only for legitimate church purposes", Conveyance made with several right-of-way agreements in place with Duke Power Company and another with the Central Telephone Company
Plat	5	11	June 29, 1983				Lakemont Park Subdivision by K. D. Hefner, Miller Surveying, Inc., Hickory, NC

INSTR. TYPE	BK	PG	DATE	GRANTOR	GRANTEE	ACRE	NOTES/ COMMENTS
Deed	237	305	February 8, 1983	Hal L. Bowman and Beulah Starnes Bowman	Bethlehem Realty, Inc.	11.81	
Deed	235	818	December 8, 1982	Ona H. Ross	Hal L. Bowman and Beulah Starnes Bowman		
Deed	235	9	October 11, 1982	Lela H. Starnes, widow of Gus H. Starnes	Beulah Starnes Bowman	50	Formerly known as "Gus H. Starnes Homeplance"
Deed	165	757	December 1, 1972	Beulah Starnes Bowman and Hal L. Bowman, and Lela H. Starnes	Shiloh Lutheran Church	1.33	
Deed	80	554	March 1966	Lucy Pope Hefner and Frank L. Hefner	Shiloh Lutheran Church	0.055	Parcel adjoins "old Shiloh Cemetery"; "This conveyance is made for cemetery purposes."
Deed	59	59	April 18, 1959	Gus H. Starnes and Lela Starnes, and Beulah Eller Bowman and Hal. L. Bowman	A. L. Stine, Clyde Eckard, Leonard Cline, Walter Isenhour, Gurthie Bowman and Malloy Isenhour, Trustees of Shiloh Lutheran Church	1.53	Said parcel is completely surrounded by lands belonging to the grantors; Grantors convey land free of their life estate interests
Plat	2	5	February 20, 1953			150.4	Plat of B. W. Brewer land; Plat includes several small tracts

INSTR. TYPE	BK	PG	DATE	GRANTOR	GRANTEE	ACRE	NOTES/ COMMENTS
Deed	45	532	September 26, 1951	Gus H. Starnes, Lela Starnes, and Beulah Starnes Eller	Ralph Frye, Earl Bowman, Prater Richey, Clyde Echard, John Richey and Ernest Stafford, Trustees of Shiloh Lutheran Church	1	Conveyed deed is substituted for all other deeds heretofore made from Gus H. Starnes and Lela Starnes, and is made to settle all the differences and controversies of any lines that have been in controversy between the grantors and the Trustees of the Shiloh Lutheran Church and the fence heretofore erected by the grantors the same is to be removed from the premises immediately
DOC	45	183	January 19, 1951	Gus H. Starnes and Lelia [sic] Starnes	Ralph Frye, Earl Bowman, Prater Richey, Clyde Echard, John Richey and Ernest Stafford, Trustees of Shiloh Lutheran Church	1	Deed of Correction (DOC); This deed made to modify a previously issued deed of 1948; Conveyance made with the condition that if a new church is erected on the parcel and at any time in the future the same is abandoned and ceased to be used as a church, then property reverts back to the grantors, their heirs and assigns, and the time limit stated in the previous deed for the construction of the church is hereby eliminated.
Deed	45	179	August 22, 1950	Gus H. Starnes and Lela H. Starnes	Beulah Starnes Eller	49	Conveyance made subject to a life estate of Gus H. Starnes and Lela H. Starnes; Tract is approx. 50 acres minus one acre previously deeded to L. E. Ross
Deed	45	66	August 4, 1950	Gus H. Starnes and Lela H. Starnes	L. E. Ross and Ona H. Ross		

INSTR. TYPE	BK	PG	DATE	GRANTOR	GRANTEE	ACRE	NOTES/ COMMENTS
Deed	43	246	March 29, 1948	Gus H. Starnes, Widower	E. E. Bowman, M. P. Ritchey, Clyde Eckard, Robie Huffman, Lantern Cline and Charles Sharpe, Trustees of Shiloh Congregation	1	Conveyance made with the understanding that if a new church is not erected on the parcel "within a reasonable length of time" or if a new church is built, but at any time in the future is abandoned and ceased to be used as a church, then property reverts back to the grantors, their heirs and assigns
Deed	J	21	September 20, 1886	E. M. Bolick and Wife	A. L. Bowman, E. L. Bolick, et al. (Contracting Committee of the Evangelical Lutheran Church of the Tennessee Synod)	1	Parcel located near the Catawba River

CT1575, Horsebarn LLC

INSTR. TYPE	BK	PG	DATE	GRANTOR	GRANTEE	ACRE	NOTES/ COMMENTS
Deed	3071	1681	April 7, 2011	Moore's Ferry Associates, LLC	The Horse Barn, LLC	19.24	Composite map of the property of Moore's Ferry Associates, LLC
Plat	47	44	March 5, 1999			5.844	"Moore's Ferry Associates and Hickory Senior Development, LLC"
Deed	2160	1304	July 22, 1999	Moore's Ferry Associates, GP	MF Associates, LLC (c/o Joe Rowe)	100.208 *, 4.024**	*Excepting lots that were part of the "The Landing at Moore's Ferry" housing development, **Tract 3

INSTR. TYPE	BK	PG	DATE	GRANTOR	GRANTEE	ACRE	NOTES/ COMMENTS
Plat	44	95	January 27, 1998			5.5	Tract B; "Senior Quarters at Hickory"
Plat	46	90-92	October 23, 1998				"The Landing at Moore's Ferry, Phase VII"
Deed	2075	1493	March 31, 1998	Moore's Ferry Associates	Hickory Senior Development, LLC	5.5	Tract B
Plat	47	123	1996			6.185	"Property of Moore's Ferry Associates and Arthur T. Williams, Jr."; 3 Tracts: 4.024, 1.874, and 0.287
DSW	2012	1830	December 17, 1996	First Union National Bank of North Carolina, Mary Jo Williams, and Hoke D. Whisnant (Executors and Trustees Under the Will of Luella P. Whisnant)	Moore's Ferry Associates	100.28	Deed of Special Warranty (DSW); Net acreage after exception from tract of a 1.384 acre parcel belonging to Harrison J. Williams, Jr. and Patricia Williams; Conveyance is made subject to the reservation of easement containing 1.066 acres
Plat			April 3, 1996			100.208	See ACDB 2012:1832 for reference to this plat; "Luella Preslar Whisnant Heirs, 4100 Block N. Center St., N.C. No 127, Hickory Township, Catawba County, N.C.", Exception of 1.384 acre tract owned by Harrison James Williams, Jr. and wife Patricia W. Williams
Deed	1574	136	August 18, 1988	Howard W. Little and Lena H. Little	Arthur Tab Williams, Jr. and Elizabeth Taylor Williams	5.633	
Plat	21	78	December 31, 1985				"Plat of Survey of the Whisnant Property"

INSTR. TYPE	BK	PG	DATE	GRANTOR	GRANTEE	ACRE	NOTES/ COMMENTS
Deed	1424	139	December 5, 1985	Harrison J. Williams, Jr. and Patricia Williams	Ernest E. Whisnant and Luella P. Whisnant	1.066	
Deed	1424	143	August 7, 1984	Harrison J. Williams, Jr. and Patricia Williams	Ernest E. Whisnant and Luella P. Whisnant	0.524	
Deed	1227	879	March 13, 1980	Ernest E. Whisnant and Luella P. Whisnant	Harrison J. Williams, Jr. and Patricia Williams	4.13	
Deed	760	219	July, 11, 1963	Ernest E. Whisnant and Luella P. Whisnant	Harrison J. Williams and Mary Jo Whisnant Williams	0.69	
Deed	698	127	September 27, 1961	Ernest E. Whisnant and Luella P. Whisnant	Harrison J. Williams and Mary Jo Whisnant Williams	1.8	
Deed	532	180	September 13, 1956	Whisnant Hosiery Mills, Inc.	Ernest E. Whisnant and Louella P. Whisnant		
Deed	522	367	October 22, 1955	Bessie Ellen Eckard, widow and Perry D. Eckard	Whisnant Hosiery Mills, Inc.		
Deed	494	103	April 10, 1954	Bessie Ellen Eckard, widow and Perry D. Eckard	Fred R. Hubbard and Bessie V. Hubbard	1.96	
Deed	509	503	May 26, 1954	Fred R. Hubbard and Bessie V. Hubbard	Ernest E. Whisnant and Luella P. Whisnant	1.96; ?	Conveyance of 2 tracts: Tract 1: 1.96 acres, being a portion of the D. H. Eckard property; Tract 2: unknown acres

INSTR. TYPE	BK	PG	DATE	GRANTOR	GRANTEE	ACRE	NOTES/ COMMENTS
Deed	284	384	September 3, 1937	Duke Power Co.	Ernest E. Whisnant and Mary Luella Whisnant	34	A portion of the former "Noah Sherrill Tract"
Deed	265	369	December 16, 1935	Duke Power Co.	Ernest E. Whisnant and Mary Luella Whisnant	71	
Deed	191	489	April 18, 1927	C. M. Yoder and Emma C. Yoder, M. Craig Yoder and Ethel Yoder, T. K. Henry and Louise Henry, P. C. Setzer and Laura J. Setzer	D. F. Eckard		Lots 13 and 14 in Block "B" of the P.C. Hahn property as surveyed by E. M. Yoder, Surveyor
Deed	210	25	December 29, 1927	N. A. Sherrill	Western Carolina Power Co.		
Deed	182	427	August 17, 1925	T. R. Bowman Estate	Western Carolina Power Co.		
Deed	191	93	November 3, 1925	H. L. Moore	Western Carolina Power Co.		
Deed	80	200	February 9, 1897	J. M. Fox and N. A. Fox	D. H. Eckard		